

**DEADWOOD HISTORIC PRESERVATION COMMISSION**

**Wednesday, June 22, 2016 ~ 5:00 p.m.**

City Hall, 108 Sherman Street, Deadwood, South Dakota

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1. Call meeting to Order
2. Approval of HPC Meeting Minutes – June 8, 2016
3. Voucher Approval
4. Old or General Business
  - a. 2016 Outside of Deadwood Grant Requests Round 2 – Exhibit A
  - b. Charles Street Bridge Report – Exhibit B
  - c. HP Commission Committee Assignments – Exhibit C
  - d. Days of 76 Realignment Project Payment for Electrical Work – Exhibit D
  - e. South Dakota State Historical Society Board of Trustees Meeting in Deadwood July 7 & 8, 2016 – Exhibit E
5. New Matters before the Deadwood Historic District Commission
  - a. COA – H16028 – Build Shed – 560 Main – Deadwood Gulch Saloon – Exhibit F
  - b. COA – H16029 – Exterior Fencing/Lighting, Door, & Fire Pits – 592 Main – Belle Joli – Exhibit G
6. New Matters before the Deadwood Historic Preservation Commission
  - a. PA – H16025 – Replace Windows and Doors – 416 Williams – Robert Sjomeling – Exhibit H
  - b. PA – H16026 – Replace Doors – 23 Burnham – Terry Hansen – Exhibit I
  - c. PA – H16027 – Replace Siding and Windows – 21 Burnham – Jodi Campbell – Exhibit J
  - d. PA – H16030 – New Construction – 372 Main – Optima, LLC – Exhibit K
7. Revolving Loan Fund & HP Programs Update
  - a. HP Program Applications – Exhibit L  
Jodi Campbell – 21 Burnham – Siding Program  
Jodi Campbell – 21 Burnham – Wood Windows and Doors Program  
Terry & Barb Hansen – 23 Burnham – Wood Windows and Doors Program  
Terry & Barb Hansen – 23 Burnham – Elderly Resident Program  
Robert & Mary Sjomeling – 416 Williams – Elderly Resident program  
Robert & Mary Sjomeling – 416 Williams – Wood Windows and Doors Program
  - b. Revolving Loan Program – Exhibit M  
Lotus LLC Michael & Diane Perceovich – 21 Charles – Extension Requests  
Shirlene Joseph (Tucker inn) – 771 Main St – Extension Request  
David Swaney – 37 Lee St – Extension Requests  
Travis Floyd – 81 Stewart – Extension Requests  
Joan Berner – 74 Van Buren – Refinance Request  
Dustin & Laura Floyd – 21 Lincoln – Refinance Request  
Erin Little & David Folger – 15 Denver – Extension Request  
Bruce & Mary Ann Oberlander – 102 Charles – Request to Forgive Windows Loan  
Christopher and Margaret Bloom – 46 Denver – RLF-LS Extension Request  
Veronica White – 3 Shine St – Extension Requests  
Bernie Reausaw – 299 Williams – Request for Windows Loan
  - c. Retaining Wall Program Disbursements
8. Items from Citizens not on agenda (*Items considered but no action will be taken at this time.*)
9. Staff Report (*Items considered but no action will be taken at this time.*)
10. Committee Reports (*Items will be considered but no action will be taken at this time.*)
11. Other Business
12. Adjournment

*\*All Applications **MUST** arrive at the City of Deadwood Historic Preservation Office by 5:00 p.m. MST on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month in order to be considered at the next Historic Preservation Commission Meeting.*

**DEADWOOD HISTORIC PRESERVATION COMMISSION**  
**Wednesday, June 8, 2016 ~ 5:00 p.m./Revised 6/7/16**  
City Hall, 108 Sherman Street, Deadwood, South Dakota

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1. Call meeting to Order
2. Election of Officers
3. Approval of HPC Meeting Minutes – May 25, 2016
4. Voucher Approval
5. Old or General Business
  - a. Request for support for Days of 76 Teamster’s Chuck Wagon Gathering – Exhibit A
  - b. Historic Preservation project to microfilm newspapers for online access – Exhibit B
  - c. Auditors review of Revolving Loan Fund by Ketel Thorstenson – Exhibit C
  - d. Agreement for Administration of Revolving Loan Fund with Neighborworks – Exhibit D
6. New Matters before the Deadwood Historic District Commission
  - a. COA - H16022 - Install Awning - 1906 Deadwood Mt. Dr. - Tim Conrad/TenTexKota – Exhibit E
  - b. COA - H16023 - Install Stairs - 1906 Deadwood Mt. Dr. - Tim Conrad/TenTexKota – Exhibit F
7. New Matters before the Deadwood Historic Preservation Commission
  - a. PA - H16024 – Replace Windows – 160 Charles St. – Tessa & Jesse Allen – Exhibit G
8. Revolving Loan Fund & HP Programs Update
  - a. HP Program Applications - Exhibit H
    - Luella Krebs - 77 Stewart – Elderly Resident and Retaining Wall Program
    - Roy Sundstrom - 71 Forest - Elderly Program
    - Tessa and Jesse Allen - 160 Charles - Wood Windows and Doors Program
  - b. Revolving Loan Program – Exhibit I
    - Tim Berg – 1 Forest – Request to forgive Retaining Wall Loan
    - Amy Gorzalka – 50 Van Buren – Retaining Wall Loan
    - Robin Gorder- 3 Rodenhaus – Request to Forgive Retaining Wall Loan
    - Edwin & Anita Smith- 12 Dakota – Windows Loan Request
  - c. Retaining Wall Program Disbursements
9. Items from Citizens not on agenda (*Items considered but no action will be taken at this time.*)
10. Staff Report (*Items considered but no action will be taken at this time.*)
11. Committee Reports (*Items will be considered but no action will be taken at this time.*)
12. Other Business
13. Adjournment
  - Executive Session for Legal Matters per South Dakota Codified Law 1-25-1 (3)

*\*All Applications **MUST** arrive at the City of Deadwood Historic Preservation Office by 5:00 p.m. MST on the 1<sup>st</sup> or 3<sup>d</sup> Wednesday of every month in order to be considered at the next Historic Preservation Commission Meeting.*

## CITY OF DEADWOOD

### HISTORIC PRESERVATION COMMISSION

Wednesday, June 8, 2016

**Present Historic Preservation Commission:** Laura Floyd, Michael Johnson, Lyman Toews, Thomas Blair, Lynn Namminga, Dale Berg and Chuck Williams were present.

**Absent:** Ms. Terri Williams, City Attorney, was absent.

**Present City Commission:**

Mr. Kevin Kuchenbecker, Historic Preservation Officer, Mike Walker of NeighborWorks-Dakota Home Services and Bonny Fitch, Recording Secretary, were all present.

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**All motions passed unanimously unless otherwise stated.**

A quorum present, Chair Floyd called the Deadwood Historic Preservation Commission meeting to order Wednesday, June 8, 2016 at 5:00 PM in the Commission Room located in the City Hall at 108 Sherman Street in Deadwood, SD.

**Election of Officers:**

Chairperson

**Mr. Johnson nominated Laura Floyd to Chairperson for the Historic Preservation Commission. Aye-All. Nomination Carried.**

First Vice Chairperson

**Mr. Williams nominated and Mr. Johnson seconded the nomination to appoint Tom Blair to First Vice Chairperson for the Historic Preservation Commission. Aye-All. Nomination Carried.**

Second Vice Chairperson

**Mr. Toews nominated and Mr. Blair seconded the nomination to appoint Mike Johnson to Second Vice Chairperson for the Historic Preservation Commission. Aye-All. Nomination Carried.**

**Approval of May 25, 2016 HPC Minutes:**

**It was moved by Mr. Toews and seconded by Mr. Berg to approve the minutes of Wednesday, May 25, 2016 as presented. Aye – All. Motion carried.**

**Voucher Approval:**

**It was moved by Mr. Johnson and seconded by Mr. Blair to approve the HP Operating Account in the amount of \$108,944.13. Aye – All. Motion carried.**

**Old or General Business:**

Request for support of Days of 76 Teamster's Chuck Wagon Gathering – Exhibit A

Mr. Kuchenbecker stated the Historic Preservation Office received a request from Jon Matson to help fund the Days of 76 Teamster Reunion and Chuck Wagon Gathering to be held at the Days of 76 Museum and Campground in conjunction with the Days of 76 Rodeo. The event will consist of chuck wagon meals, entertainment, teamster recognition, historic programs and trails discussions. The cost of the event is approximately \$3,600.00 and they are requesting \$1,000.00 from the Historic Preservation Commission. There is about 32 teamsters and every year they pick a Teamster of the Year. The funds would be used to pay for meals for the past Teamster of the Year recipients. Chair Floyd asked if the event is open to the public. Mr. Burns stated yes. Mr. Toews asked where the funds would come out of. Mr. Kuchenbecker stated Advocacy and Public Education.

**It was moved by Mr. Blair and seconded by Mr. Toews to approve the funding request of \$1,000.00 for the Days of 76 Teamster Reunion and Chuck Wagon Gathering. Aye – All. Motion carried.**

Historic Preservation project to microfilm newspapers for online access – Exhibit B

Mr. Kuchenbecker stated the Historic Preservation Office is requesting permission to purchase 270 rolls of newspaper microfilm from the South Dakota State Archives at the cost of \$32.00 per roll. The newspapers, spanning the years 1876 to 1900, will be the first of two orders of microfilm containing community newspapers from Deadwood, Lead, Central City and Terry. The rolls of microfilm will be mailed to Newspapers.com, a subsidiary company of Ancestry.com scanned and returned to the Historic Preservation office. This searchable directory provides subscribers access to over one hundred million pages of newspaper. Newspaper.com will OCR the microfilm and incorporate the digital files online with the other Deadwood and Northern Black Hills newspapers.

***It was moved by Mr. Toews and seconded by Mr. Blair to recommend to the City Commission to purchase 270 rolls of newspaper microfilm from the South Dakota State Archives at the cost of \$32 per roll. The cost of the microfilm will not exceed \$8,700.00. Aye – All. Motion carried.***

Auditors review of Revolving Loan Fund by Ketel Thorstenson – Exhibit C

Mr. Kuchenbecker introduced Kristen Reed with Ketel Thorstenson, via teleconference. Ms. Reed stated she is presenting the report results of the agreed upon procedures performed for the historic preservation loan programs serviced by Neighborworks-Dakota Home Services and determine any variances in their findings. Ms. Reed reviewed procedures being applied by Neighborworks and discussed the findings and recommendations for internal controls, interest charges, principle and interest allocation, subsidiary listing and loan file review. Mr. Toews asked how many loans were in total. Ms. Reed stated there were 35 out of about 100 loans reviewed. Mr. Toews stated about a quarter of the loans were reviewed. Ms. Reed stated they reviewed the most recent loans of 2014 and 2015. Mr. Toews asked if anything serious was discovered in the audit. Ms. Reed stated the findings were very average when conducting reviews of this type. The most confusing was different policies going into place at different times and assuring polices were followed. Chair Floyd asked if communications have taken place between Ketel Thorstenson and Neighborworks. Mr. Walker stated they have already taken place. All responses regarding the review have been turned into Ketel Thorstenson. Mr. Blair asked if there would be a financial audit conducted. Mr. Kuchenbecker stated there is one done through the Legislative Audit. Ms. Reed stated this is done with the city's audit. Mr. Toews asked if Neighborworks will be given a list of specific items to correct and given a specific time line to have them corrected. Mr. Walker stated they received a list of specific items and the issues pertaining to the specific loans. Neighborworks response shows where the procedures have been put into place and this is what is used for the final recommendation.

***It was moved by Mr. Toews and seconded by Mr. Blair to recommend to the City Commission acceptance of the agreed upon procedures report from Ketel Thorstenson. Motion was withdrawn as it was determined an unnecessary action.***

Agreement for Administration of Revolving Loan Fund with Neighborworks – Exhibit D

Mr. Kuchenbecker stated the Neighborworks contract was not renewed in January per the Deadwood City Commission's request to review the program procedures. Now the review is complete, Neighborworks wishes to renew the contract. Currently we are operating on a month to month basis with the hourly rate for the Executive Director \$55.00, Lending Director \$45.00, Loan Processer \$30.00, Accounting \$35.00, Rehab Coordinator \$40.00, Administrative Assistant \$30.00. The 2016 Contract will include these rates at a total amount not to exceed \$75,000 per year. We are presently receiving quarterly statements. Chair Floyd stated the amendment was made to the contract to reflect the grants now being run through the Historic Preservation Office. Now that we have been running the grants does there need to be a change in the amount of the contract? Mr. Kuchenbecker stated this is our first calendar year with all of these grants. At the end of this calendar year, we can look at the bills we receive for the administration and make adjustments for 2017.

***It was moved by Mr. Toews and seconded by Mr. Johnson to recommend to the City Commission to approve the agreement with Neighborworks-Dakota Home Resources not to exceed \$75,000 per year. Aye – All. Motion carried.***

**New Matters before the Deadwood Historic District Commission**

COA - H16022 – Install Awning – 1906 Deadwood Mt. Dr. – Tim Conrad/TenTexKota – Exhibit E

Mr. Kuchenbecker stated this is a contributing structure located in the South Deadwood Planning Unit. The applicant is requesting permission to install a metal awning to the front of the structure to provide summer shade and assist with snow management in the winter. The proposed awning is compatible in design, materials and architectural features to the existing awning. There is no photographic documentation the awning existed; however, the project does not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts. Mr. Conrad stated there is a tent up right now in the location and it looks like a carnival. The owners feel the awning will look a lot better and similar to the original one. Mr. Kuchenbecker stated the City holds an easement on this structure and the project will also need City Commission approval.

***It was moved by Mr. Blair and seconded by Mr. Berg this project does not encroach upon, damage or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore recommends to the City Commission approval to install the metal corrugated awning at 1906 Deadwood Mountain Drive. Aye- All. Motion carried.***

COA – H16023 – Install Stairs – 1906 Deadwood Dr. – Tim Conrad/TenTexKota – Exhibit F

Mr. Kuchenbecker stated the applicant wishes to install new stairs so the current VIP deck can be utilized. The proposed stairs are designed in a manner which is compatible with the appearance of the overall rehabilitation of

the Deadwood Mountain Grand. The stairs would not overpower any of the existing structure and are placed in a location which is unobtrusive to the resource. The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. Mr. Conrad stated there will be a landing on the stairs because the building code states you can only have twelve steps. Mr. Kuchenbecker stated the City holds an easement on this structure and the project will also need City Commission approval.

***It was moved by Mr. Berg and seconded by Mr. Johnson this project does not encroach upon, damage or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore recommends to the City Commission approval to install stairs as submitted at 1906 Deadwood Mountain Drive. Aye- All. Motion carried.***

#### **New Matters before the Deadwood Historic Preservation Commission**

PA – H16024 – Replace Windows – 160 Charles St – Tessa & Jesse Allen - Exhibit G

Mr. Kuchenbecker stated the applicant is a contributing structure located in the Cleveland Planning Unit, circa 1895. The applicant is requesting permission to replace a portion of the heavily deteriorated windows on the structure. The staff has conducted a site visit and recommends appropriate replacement of some of the windows. The applicant has also applied for the Wood Windows program. Repairs will be made to windows in good condition. The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register of Historic Districts or the Deadwood National Historic Landmark.

***It was moved by Mr. Blair and seconded by Mr. Toews this project does not encroach upon, damage or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore grant project approval to replace and repair windows at 160 Charles Street. Aye- All. Motion carried.***

#### **Revolving Loan Fund and Historic Preservation Programs:**

Historic Preservation Program Applications - Exhibit I

Luella Krebs – 77 Stewart – Elderly Resident Program – Retaining Wall Program

Roy Sundstrom – 71 Forest – Elderly Resident Program – Stairs

Tessa and Jesse Allen – 160 Charles – Elderly Wood Windows and Doors Program

***It was moved by Mr. Johnson and seconded by Mr. Naminnga to approve all Historic Preservation Program Applications, as submitted. Aye - All. Motion carried.***

Revolving Loan Program

Tim Berg – 1 Forest – Request to forgive Retaining Wall Loan

Amy Gorzalka – 50 Van Buren – Retaining Wall Loan

Robin Gorder- 3 Rodenhaus – Request to Forgive Retaining Wall Loan

Edwin & Anita Smith- 12 Dakota – Windows Loan Request

***It was moved by Mr. Toews and seconded by Mr. Berg to approve the Revolving Loan Program Applications as submitted. Aye - All. Motion carried.***

The delinquency report was presented by Mike Walker.

#### **Revolving Loan Fund/Retaining Wall Program Update:**

Retaining Wall Applications

No applications were addressed at this meeting.

Revolving Loan Program/Disbursements

***It was moved by Mr. Johnson and seconded by Mr. Blair to approve HP Revolving Loan Fund disbursement in amount of \$5,520.98, based on information as presented by Mike Walker, of NeighborWorks-Dakota Home Services. Aye - All. Motion carried.***

***It was moved by Mr. Johnson and seconded by Mr. Blair to approve HP Revolving Loan Fund disbursement in amount of \$26,741.37, based on information as presented by Mike Walker, of NeighborWorks-Dakota Home Services. Aye - All. Motion carried.***

#### **Retaining Wall Program Disbursements**

No retaining wall program disbursements were addressed at this meeting.

#### **Items from Citizens not on Agenda**

06/16/16

9:56 AM

**Staff Report:** (*items will be considered but no action will be taken at this time.*)

Mr. Kuchenbecker reported on the following items:

- The second round of the 2016 Outside of Deadwood Grants will be reviewed by the G.R.A.P.E. Committee next week;
- The Real Estate Workshop will be June 30, 2016. A copy of the registration was handed out. The program was well received last year. Participants will receive five continuing education credits;
- There was a ribbon cutting for the new chuck wagon last Friday. It is well received. There will be signs placed on the wagon stating "Visitor Information". Chair Floyd complemented Mr. Kuchenbecker on outfitting the wagon;
- The Historic Preservation Office just received a report from Interstate Engineering on the Charles Street Bridge inspection. Based on the initial e-mail it looks like the structural condition is not suitable for pedestrian traffic. This topic will be reviewed at the next meeting;
- The office has the contracts back from the contractors for 50 and 84 Van Buren retaining wall projects. We are also moving forward on the wall at 77 Stewart. The wall at 10 Harrison is in the final stages of completion. Staff is soliciting quotes for the retaining wall and drainage issues at 3 Shine;
- There is a minimum maintenance issue at 824 Main Street. The City has hired a private investigator to locate the homeowner so papers can be served before we go to court;
- There have been preliminary meetings regarding the proposed Cadillac Jacks addition. This project should be coming before HPC soon;
- The 360 Williams project is moving along, including final elevations, and floor and roof plans. Keith Umenthum, the Project Manager, is getting quotes on masonry and roofing;
- Staff has requested more details and a realistic rendering for the proposed Chalets at Deadwood Mountain Grand on McGovern Hill;
- Dale Berg has just received final drawings for his building in the Façade Program. He will be seeking quotes for the project;
- There has been a lot of paint grants being approved and we are receiving a lot of grant requests, there are already three for our next agenda;
- Wayfinding they are about 90% complete on phase I. There is one sign up on phase II which is the Mt. Moriah sign. Staff is working with the consultant to develop a punch list for Phase I of this project. There was a complaint about the removal of a DOT sign in the information center parking lot as part of the wayfinding efforts. This sign was allowed during the reconstruction of Strawberry Hill several years ago and businesses paid to have their information on the sign; however, it was to be temporary and DOT desired it be removed;
- The parking area at Deadwood Welcome Center was originally to be paved next week for Wild Bill Days; however, it looks like by the Fourth of July now. The contractor is pouring the floor, and the structural steel is on site. The pedestrian bridge across Whitewood Creek has been installed;
- Highway 85 project is moving right along. The pavement is now past the Thunder Cove Motel;
- Gateway Project across from hardware store is beginning to take shape;
- There is a Pro Bull Riding event this weekend in the Days of 76 Arena;
- HP Commission Committee Assignments will be on the next agenda.

**Committee Reports:**

- Mr. Blair discussed using a stage coach / chuck wagon to travel across the state for promotions and to use in parades across the region including Deadwood. This has a great appeal and we need to discuss doing these things again. Mr. Kuchenbecker stated he would like to enter the wagon in the Fourth of July parade in Belle Fourche if he can secure a teamster.

**Adjournment:**

There being no other business, the Historic Preservation Commission Meeting adjourned at 6:07 p.m.

ATTEST:

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Chairman, Historic Preservation Commission  
*Bonny Fitch, Historic Preservation Office/Recording Secretary*

# EXHIBIT A

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



Kevin Kuchenbecker  
Historic Preservation Officer  
Telephone (605) 578-2082  
kevin@cityofdeadwood.com

**Newell Church Museum – Storm Window – Newell, SD**

The Newell Museum is requesting funds to replace three windows in the Church Museum that suffered damage during a severe hailstorm in June 2015. The cracks and outright breaks in the windows allow moisture, bats and other vermin to take up residency and threaten displays in the building. The Church Museum is part of the Newell Museum Complex. It is housed in the former Congregational Church. The church (built 1911) is not used for religious practices and serves exclusively as a museum.

Match	\$418.20	Grant Request	\$418.20	Total	\$836.40
Match to Grant Ratio 50%			Proposed Grant Amount: \$418.20		

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**Newell Museum – Flaigg Cabin – Newell, SD**

The Newell Museum is requesting funds to restore the chinking to the Flaigg Cabin that was damaged during a hailstorm in June 2015. The breaks in the chinking has allowed the logs to become soaked and displays on the interior walls became wet. The grant will be used to replace all of the old chinking with a modern synthetic chinking. This will make the cabin structurally sound and retain its aesthetic appearance.

Match	\$1,157.70	Grant Request	\$1,157.70	Total	\$2,315.40
Match to Grant Ratio 50%			Proposed Grant Amount: \$1,157.70		

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**City of Mobridge - Library Water Damage and Chimney Repair – Mobridge, SD**

The City of Mobridge is requesting funds to repair the chimney to the A.H. Brown Public Library, along with repairing water damage that occurred due to a leaky roof and chimney area. The City’s Library Director noticed water seepage in the west basement wall of the library basement. This has rapidly progressed from the first few issues noted to loose bricks in the chimney, deteriorated wood at the entranceway, and deteriorating plaster in the basement stairs and utility room. The library was built in 1929 and is still operating as the public library.

Match	\$24,082.80	Grant Request	\$22,582.80	Total	\$46,665.60
Match to Grant Ratio 48%			Proposed Grant Amount: \$22,582.80		

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City of Whitewood - Install South Dakota Historic Marker – Whitewood, SD

The City of Whitewood is requesting funds to order, install and maintain a South Dakota Historical Marker for the site of the Black Hills Sales Pavilion, a building that no longer exists but was the location of the first livestock market west of the Missouri River built in 1921. The site provided a place for horse, cattle, hogs and poultry both to the eastern and local markets and increased traffic to the entire Northern Hills. Whitewood residents have raised \$655, half the cost of the sign. The marker will be placed on city land and the city will accept the responsibility of installation costs and maintaining the marker.

Match	\$655.00	Grant Request	\$655.00	Total	\$1,310.00
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Match to Grant Ratio 50%			<b>Proposed Grant Amount: \$655.00</b>		
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1881 Courthouse Museum - Installation of UV Film – Custer, SD

The 1881 Courthouse Museum is requesting funds for the installation of ultra-violet film on the east, south, and west exposures of the 1881 Courthouse Museum, which is vital for the preservation of the 10,000 or so artifacts and historical documents on display in this building. The present UV film was installed at least 20 years ago and has been deemed useless in preventing harmful solar rays from damaging the contents of the museum. The 1881 Courthouse Museum is listed on the roster of National Historic Places in America.

Match	\$2,377.90	Grant Request	\$2,377.90	Total	\$4,755.80
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Match to Grant Ratio 50%			<b>Proposed Grant Amount: \$2,377.90</b>		
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Society of Black Hills Pioneers – Sturgis, SD

Society of Black Hills Pioneers is requesting funds for the rebuild and enhancement of the Charles Nolin Monument. Charles Nolin was a pony mail carrier, carrying mail from Ft. Pierre to Deadwood and was killed on the site August 19, 1876. The Society of Black Hills Pioneers with the cooperation of the City of Sturgis built the monument in 1932. The monument will be disassembled and rebuilt and the enhancements of sidewalks, lighting and historical information plaques will be part of the project.

Match	\$26,557.50	Grant Request	\$25,000.00	Total	\$51,557.50
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Match to Grant Ratio 50%			<b>Proposed Grant Amount: \$25,000.00</b>		
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Alkali Community Club Hall – Sturgis, SD

The Alkali Community Club is requesting funds to update the Alkali Community Hall with a new roof, due to leaking which is causing structural damage to the interior, to include buttoning up the exterior by replacing the roof, siding, and the windows and installing gutters to prevent



further damage from occurring. They are also requesting funds to remove the propane heat and install electric heat and adding heat source to the kitchen, along with wiring the building properly so it is up to code with a new breaker system with sufficient outlets and lights per law. The Community Hall was originally the Women’s Army Corps mess hall from Fort Meade and was moved to its present location in 1947.

Match	\$35,600.00	Grant Request	\$8,790.00	Total	\$44,390.00
Match to Grant Ratio 20%		Proposed Grant Amount: \$8,790.00			

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**Fall River County Pioneer Museum – Hot Springs, SD**

The Fall River County Pioneer Museum is requesting funds to plaster the Glass room, tool room, and music room, which includes all walls and ceiling, prep, mud, sand, prime, and paint two coats. The Pioneer Museum is a magnificent sandstone building built in 1893 and remained an active school until 1961. The museum has unique history of the Southern Black Hills.

Match	\$6,606.00	Grant Request	\$6,606.00	Total	\$13,212.00
Match to Grant Ratio 50%		Proposed Grant Amount: \$6,606.00			

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**Dakota Tin & Gold Mine Cook Shack - Fillmore & Co., Inc. – Tinton (Ghost Town), SD**

Fillmore & Co., Inc. is requesting funds to remove the porch and stairs, build a shed, clean out the cabin, take out and replace the kitchen floor, pour footings, and jack up the cabin. The Cook Shack was originally the bunkhouse for the Dakota Tin & Gold mine and is listed on the National Register of Historic Places.

Match	\$2,500.00	Grant Request	\$2,500.00	Total	\$5,000.00
Match to Grant Ratio 50%		Proposed Grant Amount: \$0.00			

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**Verendrye Museum Log Cabin Visitor Center & Sansarc School Museum – Pierre, SD**

The Verendrye Museum is requesting funds for two of their historic buildings, security cameras, flag poles, creation of literature and displays, Vacuum and paint. The Log Cabin Visitor Center and the Sansarc School Museum. The Log Cabin Visitor Center is experiencing water leakage in the basement as the concrete floor has heaved and is cracked which allows water to seep in and settle along all the walls. The level of the floor does not allow the moisture to drain to the sump pump. Ft. Pierre does not have underground drainage which is part of the cause along with a high level of ground water. The request is for funds to assist in relocating the plumbing, cooling and heating, telephone, internet and electrical equipment to the main level of the building. The Sansarc School Museum is requesting funds to replace the roof to prevent any

moisture leaking into the structure and replace several bricks in the foundation with vented bricks to provide proper ventilation for the moisture seepage in the area. Security Cameras are needed to protect the safety of the items in possession in the museums; the creation and reproducing of pertinent brochures and display racks for public information; a museum Vacuum with HEPA filter for cleaning of clothing items due to smoke damage from fire next door; paint/stain/caulk touch up to the Log Cabin Visitor Center and Sansarc School.

Match	\$12,773.00	Grant Request	\$25,000.00	Total	\$37,773.00
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Match to Grant Ratio 66%	<b>Proposed Grant Amount: \$18,886.50</b>
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**Lead Historic Preservation - Coca-Cola Murals Restoration** – Lead, SD

Lead Historic Preservation is requesting funds to rehabilitate two historic Coca-Cola murals located on the side of the Stampmill and the Senior Citizens Center. Both signs have prominent positions on Lead’s Historic Main Street and are viewed by hundreds daily. The preservation of these signs will preserve a significant piece of history in Lead for generations to come.

Match	\$3,600.00	Grant Request	\$3,600.00	Total	\$7,200.00
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Match to Grant Ratio 50%	<b>Proposed Grant Amount: \$3,600.00</b>
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Proposed Total Second Round Funding: \$90,074.10



Inspected for:  
City of Deadwood

**BRIDGE INSPECTION**  
**FOR**  
**STRUCTURE NUMBER**  
**41-158-162**  
**Charles Street Truss Bridge**

INSPECTION DATE: 2016

Professionals you need, people you trust

P.O. Box 226 • 120 E Jackson Blvd., Suite 1 • Spearfish, SD 57783-0226 • P: 605-642-4772 • F: 605-642-4773 • [www.interstateeng.com](http://www.interstateeng.com)

Offices in: North Dakota • Montana • Minnesota • South Dakota

# REPAIR AND POSTING RECOMMENDATIONS

## BRIDGES MAINTAINED BY LOCAL GOVERNMENTS

Structure Number 41-158-162 Hwy or Street Charles Street  
 FA Route Number \_\_\_\_\_ Agency Responsible for Maintenance City of Deadwood  
 Location On Charles Street in Deadwood  
 Bridge Description 68' long by 16' wide 5 Panel Pratt Pony Truss Bridge , 6 diagonals  
 Latitude 44° 22' 09.62" Longitude 103° 44' 00.78" Bridge Type X032

### Posting Recommendations

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 \_\_\_\_\_  
 \_\_\_\_\_

### Repair, Rehabilitation, and/or Replacement Recommendations

1. The trees need to be removed from around the bridge and removed from growing into the lower chord.
2. Due to the condition of the bearing points, the verticals of the truss, and the rusted through ends of the top chord "C" channel, the truss needs to be removed and not used in any form as a bridge.

THE SOUTH DAKOTA DEPARTMENT OF TRANSPORTATION IS REQUIRED BY FEDERAL STATUTE TO MAINTAIN AN INVENTORY OF ALL BRIDGES ON ALL PUBLIC TRAVELED ROUTES. THEREFORE, IT IS IMPORTANT THAT COUNTY AND CITY OFFICIALS REPORT ANY CHANGES ON BRIDGES ON THEIR SYSTEM. EXAMPLES OF CHANGES WHICH SHOULD BE REPORTED ARE: REPLACEMENT OF AN EXISTING BRIDGE WITH PIPE OR NEW BRIDGE, SAFETY UPDATES, REHABILITATION OR REPAIR OF AN EXISTING BRIDGE ETC. CHANGES SHOULD BE REPORTED TO: SOUTH DAKOTA DEPARTMENT OF TRANSPORTATION, LOCAL GOVERNMENT ASSISTANCE, PIERRE, SOUTH DAKOTA, 57501.

Recommendations Made By: *James Purker* Interstate Engineering, Inc. Date 5/25/2016  
 \_\_\_\_\_  
 \_\_\_\_\_

Structure Number 41-158-162Date 5/25/2016**Structure Rating Codes****APPROACH ALIGNMENT RATING CODES – ITEM 65**

- 8 No speed reduction.
- 7 Minor sight distance problems with no speed reduction.
- 6 Very minor speed reduction (0-3 mph).
- 5 Minor speed reduction (3-5mph).
- 4 Significant speed reduction (5-10 mph).
- 3 Intolerable alignment, substantial speed reduction (10-15 mph).
- 2 Severe vert. or horizontal. Alignment problems (15-20 mph reduction).
- 1 Severe speed reduction (> 20 mph).

**DECK CONDITION RATING CODES – ITEM 58**

- N Use for all Culverts.
- 9 No deficiencies noted or noteworthy.
- 8 Minor Transverse Cracks, no spalling, delamination, or water staining. No crushing, rotting or splitting, no loose planks.
- 7 Sealable deck cracks, light scaling, no spall, 10% water sat. Minor Cracking or splitting, a few loose planks.
- 6 Open cracks, med. Scaling, <2% spall, 20% water sat. A no. of planks in need of replacement, many loose planks.
- 5 Excessive cracking, up to 5% spall, heavy scale, 40% water sat. Numerous planks cracked, split, rotted. Majority of planks loose.
- 4 More than 5% spalled, < 60% water sat. Full depth failures present. Majority of planks split, rotted, crushed. Entire deck should be replaced.
- 3 More than 60% water Sat. Many full depth failures. Severe or critical sights of structural distress are visible.
- 2 Full depth failures over much of the deck. Partial deck failure, repair needed to keep bridge open.
- 1 Bridge closed. Corrective action may put back in light service.
- 0 Bridge closed. Replacement necessary.

**SUPERSTRUCTURE RATING CODES – ITEM 59**

- N Use for all Culverts.
- 9 Excellent condition.
- 8 No noted or noteworthy deficiencies.
- 7 Hairline cracks, some rust or minor rotting, cracking, splitting or crushing of beams or stringers.
- 6 Minor water sat., damage or deterioration, section loss in non-critical areas, some decay, cracking splitting or crushing.
- 5 Substantial section loss, minor loss of rebar, substantial water sat. Initial section loss in critical stress areas. Fatigue cracks in non-critical areas. Substantial decay, cracking, splitting or crushing.
- 4 Structural cracks. Extensive section loss or exposure of rebar. Significant section loss in critical stress areas. Hinges frozen. Extensive decay, cracking, splitting or crushing.
- 3 Severe deterioration, diag. shear cracks, advanced corrosion of rebar. Severe section loss in critical areas. Severe decay, cracking, splitting or crushing.
- 2 Deterioration around rebar leading to loss of bond. Load capacity severely affected. Severe section loss. Beam ends crushed or split resulting in settlement of deck.
- 1 Bridge closed. Corrective action may put back in light service.

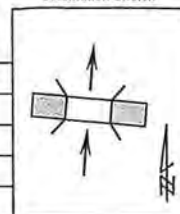
**SUBSTRUCTURE RATING CODES – ITEM 60**

- N Use for all Culverts.
- 9 Excellent condition.
- 8 No noted or noteworthy deficiencies.
- 7 Initial deterioration, minor water sat., cracking or spalls, insignificant rotting, crushing or splitting or rust.
- 6 Moderate deterioration, or spalls. Extensive cracking, no loss of bearing area, minor amount of rotting, cracking, splitting or crushing.
- 5 Substantial section loss, exposed rebar. Sig. No. of piles need replacement. Substantial decay, cracking, splitting or crushing.
- 4 Structural cracks. Extensive section loss or exposure of piles due to erosion. Piling in need of replacement due to section loss. Cap significantly cracked.
- 3 Bearing areas seriously deteriorated, considerable loss of bearing area. Blocking and shoring necessary (not just precautionary). Severe scouring.
- 2 Concrete cap is soft and spalling with rebar exposed. Top of cap is split or rotting. Scour advanced to point that substructure unit is in state of collapse or settlement has occurred.
- 1 Bridge closed. Corrective action may put back in light service.

# Bridge Inspection Report

Structure Number 41-158-162 Maint. Proj. No. \_\_\_\_\_  
 Feature Carried Charles Street MRM \_\_\_\_\_ County Lawrence  
 Feature Crossed Whitewood Creek  
 Location On Charles Street in Deadwood  
 Bridge Description 68' long by 16' wide 5 Panel Pratt Pony Truss Bridge , 6 diagonals

Orientation Sketch



Date Inspected <u>5/25/2016</u>	Inspectors <u>Drews and Parker</u>	Crew Leader's Signature <i>Alan J. Drews</i>	Temperature <u>64</u> Deg F

## Region Repair Recommendations / Contract Repairs

## Approach – Items 65.00 – 65.09

- |                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ol style="list-style-type: none"> <li>1. Alignment</li> <li>2. Condition</li> <li>3. Joints</li> <li>4. Guardrails</li> <li>5. Embankment</li> <li>6. Drainage</li> <li>7. Signing</li> <li>8. _____</li> <li>9. _____</li> <li>10. _____</li> </ol> | <ol style="list-style-type: none"> <li>1. The alignment is straight with the bridge but angles at both ends of the bridge.</li> <li>2. The east approach is dirt and gravel and is cut off by a new sidewalk and wall that has just been installed with the reconstruction of Highway 85. The west approach is asphalt and some gravel along the edges. Both the west and east approaches are in poor conditions.</li> <li>3. There are no joints.</li> <li>4. There are no guardrails.</li> <li>5. The embankments are flat and with concrete retaining walls to the stream.</li> <li>6. The east approach has been somewhat removed and cut off by the new sidewalk.</li> <li>7. There are no signs.</li> </ol> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Structure Number 41-158-162

Date 5/25/2016

**Deck – Items 58.00 – 58.17**

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> <li>1. Deck Condition           <ul style="list-style-type: none"> <li>A. Cracking</li> <li>B. Scaling</li> <li>C. Spalling</li> <li>D. Delamination</li> </ul> </li> <li>2. Overlay           <ul style="list-style-type: none"> <li>A. Type of Overlay</li> <li>B. Overlay Thickness</li> <li>C. Condition</li> </ul> </li> <li>3. Joints           <ul style="list-style-type: none"> <li>A. Joint Opening</li> </ul> </li> <li>4. Drains</li> <li>5. Curbs and Median</li> <li>6. Sidewalks</li> <li>7. Railing and Barrier</li> <li>8. Lighting</li> <li>9. Utilities</li> <li>10. _____</li> <li>11. _____</li> </ul> | <ul style="list-style-type: none"> <li>1. 3"x 12" transverse timber plank with 10 – 3"x 12" longitudinal timber wear plank.           <ul style="list-style-type: none"> <li>a. None</li> <li>b. None</li> <li>c. None</li> <li>d. Heavy delamination and breakages of the timbers.</li> </ul> </li> <li>2. None</li> <li>3. None</li> <li>4. None</li> <li>5. None</li> <li>6. None</li> <li>7. None</li> <li>8. None</li> <li>9. None</li> </ul> |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Structure Number 41-158-162Date 5/25/2016

<b>Superstructure – Items 59.00 – 59.20</b>
---------------------------------------------

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ol style="list-style-type: none"> <li>1. Underside of Deck</li> <li>2. Bearing Devices</li> <li>3. Girders or Beams             <ol style="list-style-type: none"> <li>A. Stiffeners</li> <li>B. Welds</li> <li>C. Splices</li> </ol> </li> <li>4. Diaphragms</li> <li>5. Trusses             <ol style="list-style-type: none"> <li>A. Main Members</li> <li>B. Portals</li> <li>C. Bracing</li> <li>D. Gusset Plates</li> </ol> </li> <li>6. -----</li> <li>7. Rivets or Bolts</li> <li>8. Welds</li> <li>9. Paint</li> <li>10. Drainage System</li> <li>11. Utilities</li> <li>12. Reaction Under Load</li> <li>13. Collision Damage</li> <li>14. _____</li> <li>15. _____</li> </ol> | <ol style="list-style-type: none"> <li>1. The underside of the wood deck is in fair condition. The wood stringers are 3" x 11 7/8" that are spaced at 10" o.c.</li> <li>2. The bearing devices are for the wood stringers are wood shims placed on top of the concrete abutments.</li> <li>3. The perpendicular floor beams are steel. There are five (5) S12x31.5 The west two floor beams are attached to the lower truss per design, however, these two are bearing on concrete which effects the performance of the truss. The beams that are bearing on the concrete have pack rust (1/16") 30 % section loss on the lower flanges, approximately 4'-0" out from the concrete bearing. The remaining floor beams are rusting with some section loss.             <ol style="list-style-type: none"> <li>A. No stiffeners.</li> <li>B. No welds.</li> <li>C. No Splices.</li> </ol> </li> <li>4. There are 2"x12" Timber diaphragms between the wood stringers and are at 1/4 points between steel floor beams.</li> <li>5. The trusses are steel pin and eye bar bottom chords and built up "C" Channel with a cover plate for the top chords. The vertical members are built up angles with plate webbing.             <ol style="list-style-type: none"> <li>A. The main members, Top Chord are "C" channels with a cover plate riveted to the "C" channels. The Bottom Chord members are Plate eye bars and 2.46 inch pins.</li> <li>B. None</li> <li>C. The bracing for the truss and the underside of the deck is crossed. The truss bracing is eye bar, round and plate, the rounds are 7/8" dia. the plate eye bars are 2"x 0.63", most of the round eye bars are bent at the connections pins. There are seam cracks starting from the pins into the Eye Bars at the forge weld. The cross bracing at the floor beams are 0.90-inch dia. are in fair to poor condition with moderate rust and one is bent out of plain.</li> <li>D. There are gusset plates at the vertical which encase the eye bar pins. All are bent at the pin.</li> </ol> </li> <li>6. -----</li> <li>7. There are rivets in the top member of the truss and also in the gusset plates. They are spaced 2.59 inches horizontal and 2 inches vertical in the gusset plates. They are in poor condition due to the bent section at the eye bar pins.</li> <li>8. The welds are at the repaired vertical truss members. These weld are in poor condition.</li> <li>9. The paint is in poor condition with heavy rust. The paint that is visible is possible lead based.</li> <li>10. None</li> <li>11. There is a gas line attached to the north side of the bridge at the floor beams.</li> <li>12. Some deflection felt due to person jumping up and down.</li> <li>13. The vertical members of the truss have been damaged due to impact from vehicles.</li> </ol> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|



Structure Number 41-158-162

Date 5/25/2016

**Substructure – Items 60.00 – 60.05**

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> <li>1. Abutments           <ul style="list-style-type: none"> <li>A. Wing Walls</li> <li>B. Backwalls</li> <li>C. Footings</li> </ul> </li> <li>2. Piers or Bents           <ul style="list-style-type: none"> <li>A. Caps</li> <li>B. Columns</li> <li>C. Footings</li> </ul> </li> <li>3. Grout Pads</li> <li>4. Anchor bolts</li> <li>5. Piles</li> <li>6. Bracing</li> <li>7. Paint</li> <li>8. Movement           <ul style="list-style-type: none"> <li>A. Plumbness</li> <li>B. Settlement</li> <li>C. Horizontal</li> </ul> </li> <li>9. _____</li> <li>10. _____</li> <li>11. _____</li> </ul> | <ul style="list-style-type: none"> <li>1. The abutments and wing walls are integral.           <ul style="list-style-type: none"> <li>A. The wing wall are concrete and in fair to poor conditions.</li> <li>B. The back walls are concrete and in fair to poor conditions. The east back wall is heavily deteriorated at the base and waterline</li> <li>C. Not visible.</li> </ul> </li> <li>2. None</li> <li>3. None</li> <li>4. The truss bearing points are assumed to be anchored through the use of anchor bolts. However, all of the truss bearing points are covered in dirt on the east abutment and dirt and asphalt on the west abutment.</li> <li>5. Unknown</li> <li>6. None</li> <li>7. None</li> <li>8. None detected,           <ul style="list-style-type: none"> <li>A. The abutments are plumb.</li> <li>B. No settlement detected.</li> <li>C. There is no horizontal movement.</li> </ul> </li> </ul> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Structure Number 41-158-162

Date 5/25/2016

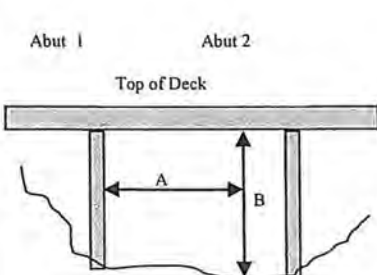
**Channel and Channel Protection – Items 61.00 – 61.09**

- 1. Channel
  - A. Alignment
  - B. Vegetation
  - C. Scour
  - D. Debris
  - E. Flow Line
- 2. Embankment Erosion
- 3. Waterway Adequacy
- 4. Spur Dikes & Jetties
- 5. Wing Dams
- 6. Riprap
- 7. Observed Highwater Elevation
- 8. Streambed
- 9. \_\_\_\_\_
- 10. \_\_\_\_\_
- 11. \_\_\_\_\_

- 1. The channel is rocky with sandy silty banks.
  - A. The alignment is poor and enters from the west and runs along the east abutment.
  - B. The banks are heavily vegetated with trees and some grasses. The trees have grown up into the lower chord of the truss on both sides of the bridge. These need to be removed.
  - C. None detected.
  - D. No debris.
  - E. The flow line is stable and rocky.
- 2. There is no embankment erosion.
- 3. The waterway opening is adequate to handle normal flows.
- 4. There are no Spur Dikes or Jetties.
- 5. No wind dams
- 6. There is no Rip Rap.
- 7. The high water was not detected at this inspection but previous data indicates that it was at the underside of the truss.
- 8. The streambed is rocky with some larger rocks along the edges.

**CHANNEL AND CHANNEL PROTECTION RATING CODES – ITEM 61**

- N Use when bridge is not over a waterway.
- 9 No noted or noteworthy deficiencies.
- 8 Banks well protected or vegetated.
- 7 Bank protection in need of minor repair.
- 6 Bank is beginning to slump. Widespread minor damage.
- 5 Bank protection is being eroded, major damage, trees and brush restrict the channel.
- 4 Banks and embankment protection is severely undermined. Large deposits of debris are in the waterway.
- 3 Bank protection has failed. Stream bed aggradation, degradation or lateral movement has changed the waterway to now threaten the bridge or approach roadway.
- 2 The waterway has changed to the extent the bridge is near a state of collapse.
- 1 Bridge closed because of channel failure. Corrective action may put back into light service.



Date	A	B	Comments
5/25/2016	48.0'	9.1'	1' of flowing water
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

All measurements shall be taken on the inlet side of the structure.

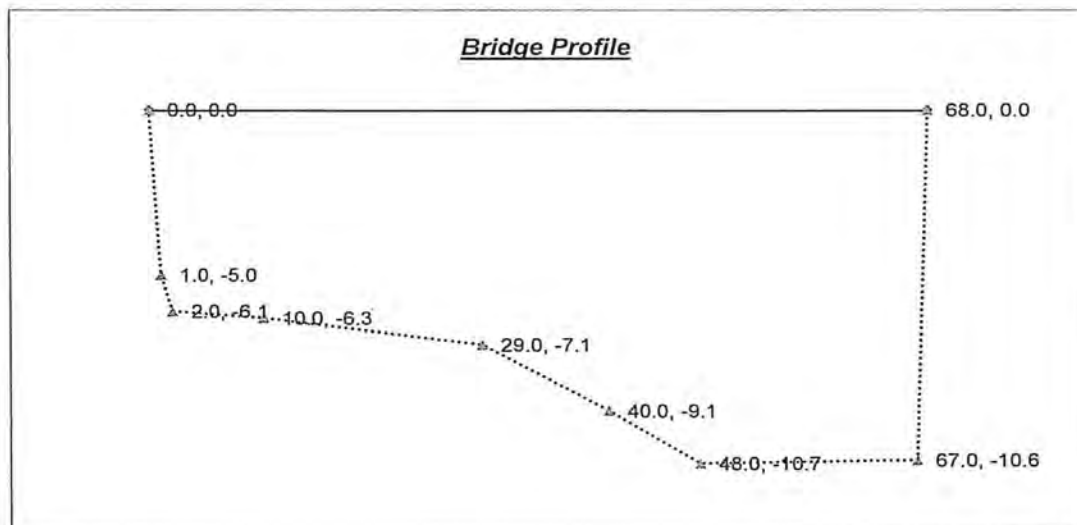
Sketches and Comments:

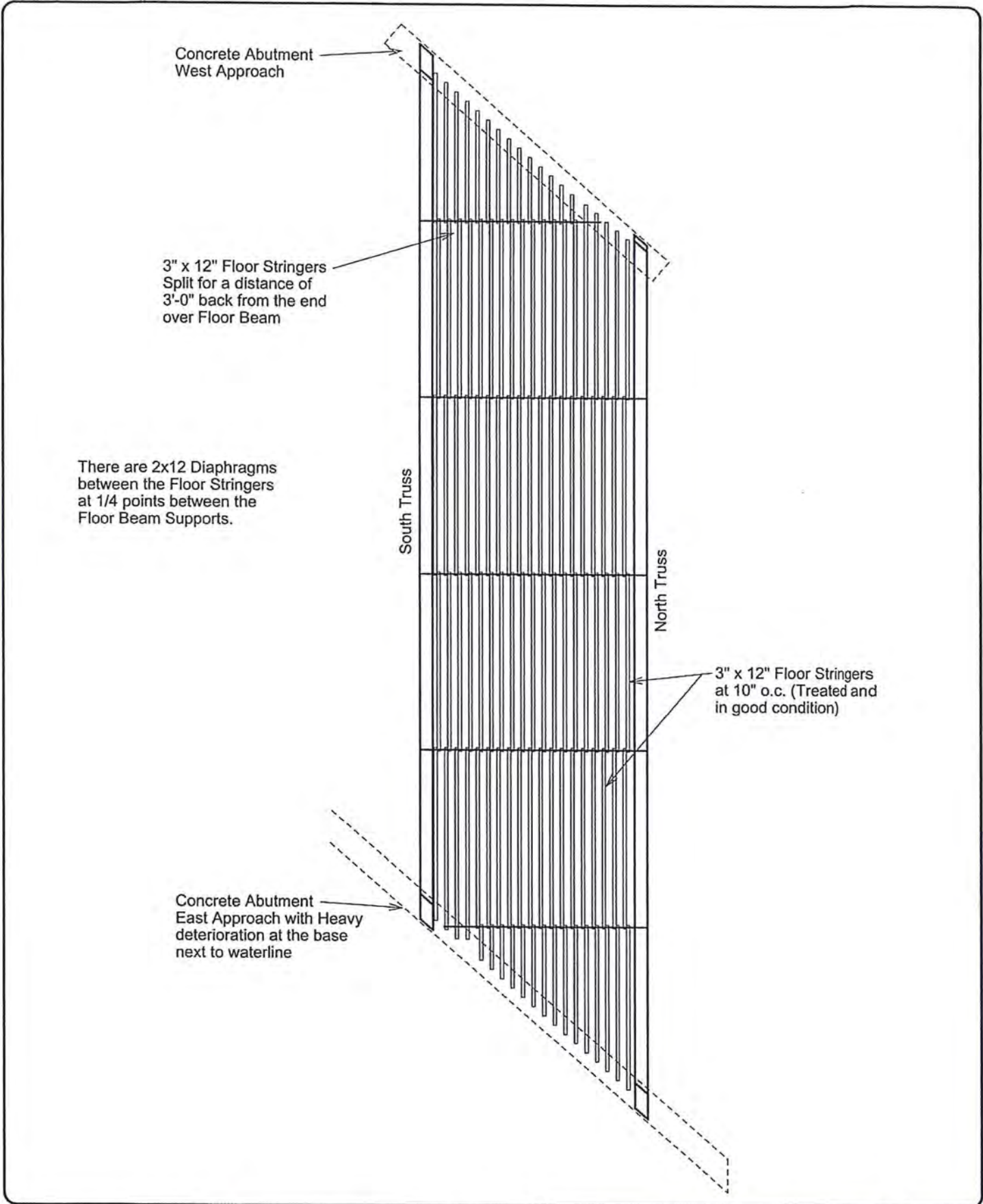
**Bridge Length**

	Length	Elevation
Begin Bridge (W or N)	0.0	0.0
End Bridge (E or S)	68.0	0.0

**Bridge Profile measurements taken at inlet of bridge**

Description	Horizontal	Vertical	Measure
End of deck	0.0	0.0	0.0
Toe of Abutment	1.0	-5.0	-5.0
Break	2.0	-6.1	-6.1
Break	10.0	-6.3	-6.3
Edge of water	29.0	-7.1	-7.1
Break	40.0	-9.1	-9.1
Flow line	48.0	-10.7	-10.7
Toe of Abutment	67.0	-10.6	-10.6
End of deck	68.0	0.0	0.0





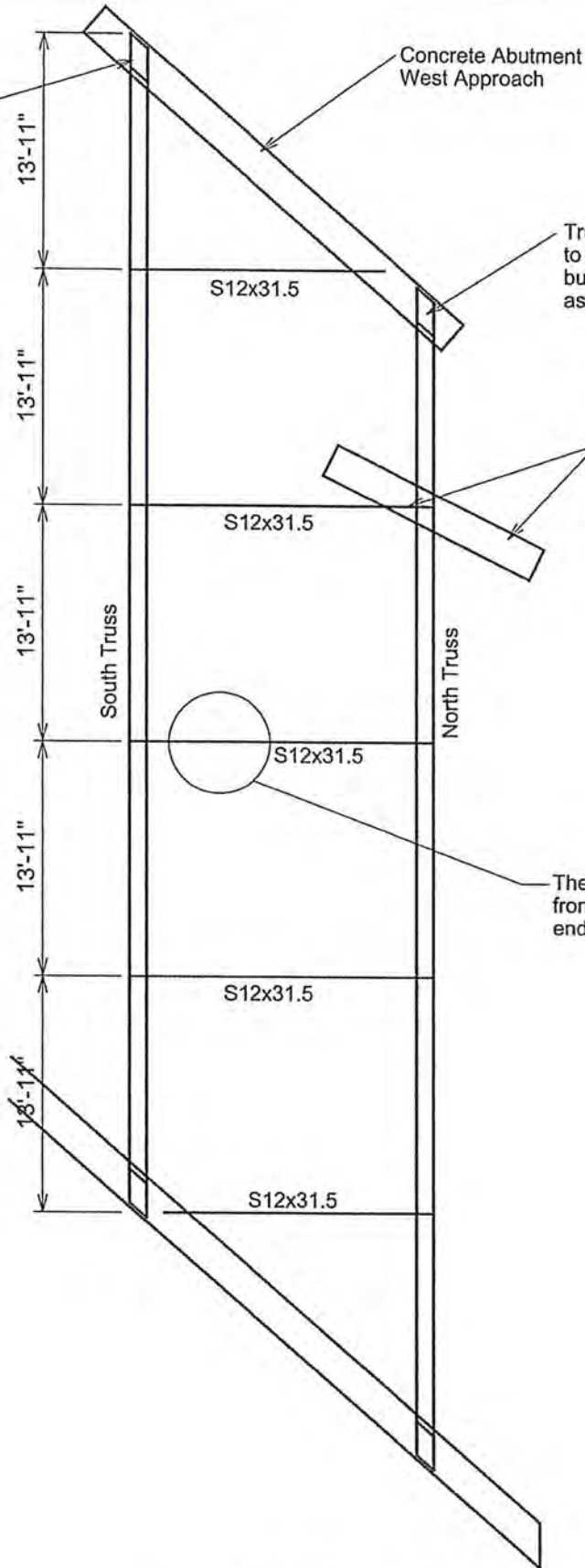
Surveyed By: - Date: -  
 Drawn By: AJD Date: 6-3-16  
 Checked By: - Date: -  
 Project Number: L16-04-101

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**FLOOR JOIST LAYOUT**  
 69'-0" x 16'-0" PONY TRUSS  
 CHARLES STREET BRIDGE  
 DEADWOOD, SOUTH DAKOTA

1  
 Sheet Number

Truss Bearing is assumed to be a bolted connection but is buried in dirt and asphalt.



Truss Bearing is assumed to be a bolted connection but is buried in dirt and asphalt.

Old Concrete Abutment  
The Floor Beam is Bearing on top of it. The floor beam is heavily rusted with 30% Section Loss at the bearing.

The Floor Beam is Bent from mid point to the south end of the beam.

Surveyed By: - Date: -  
 Drawn By: AJO Date: 6-3-16  
 Checked By: - Date: -  
 Project Number: L16-04-101



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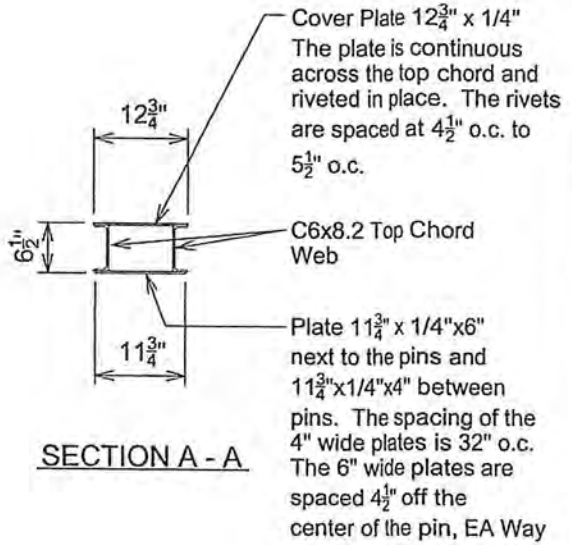
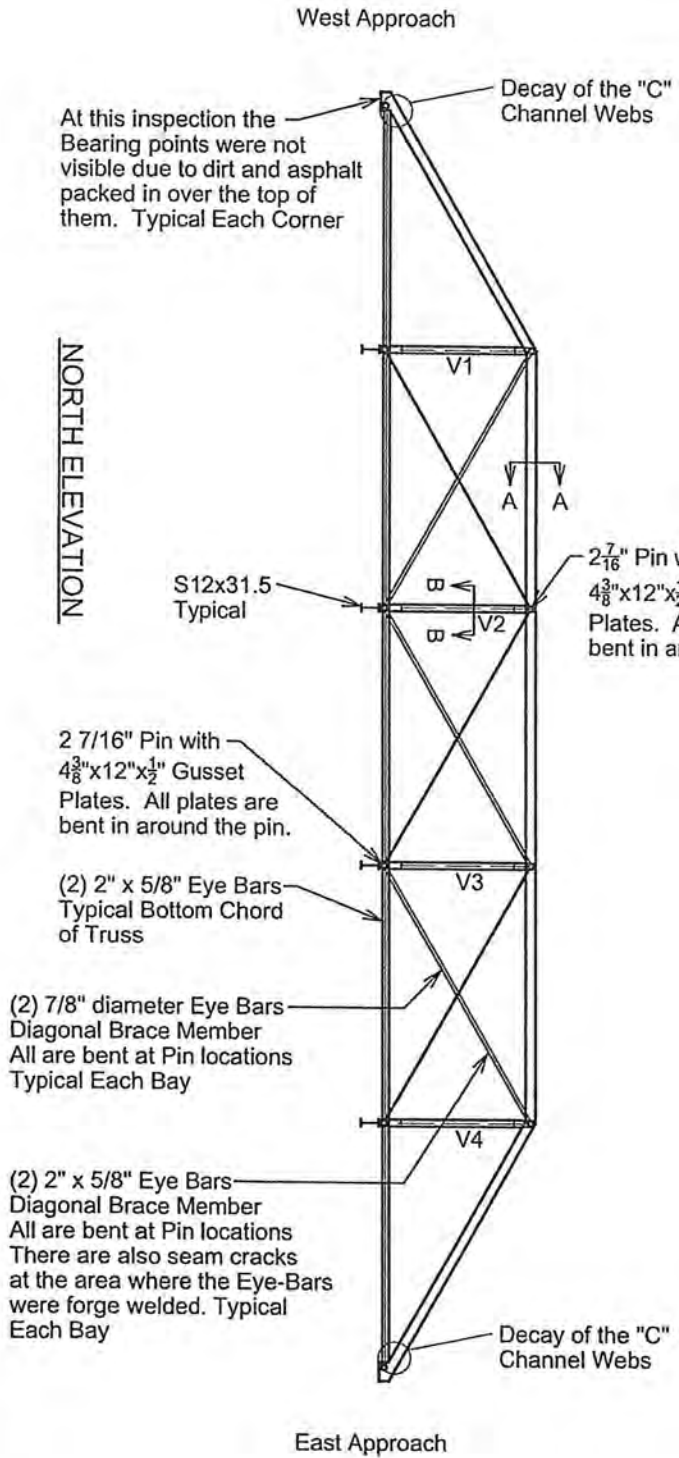
**FLOOR BEAM LAYOUT**

69'-0" x 16'-0" PONY TRUSS  
 CHARLES STREET BRIDGE  
 DEADWOOD, SOUTH DAKOTA

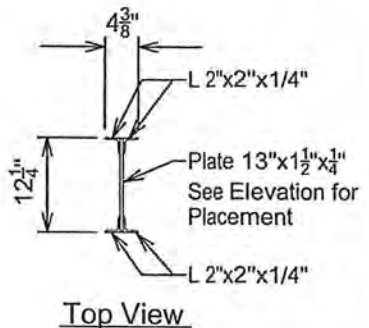
2

Sheet Number

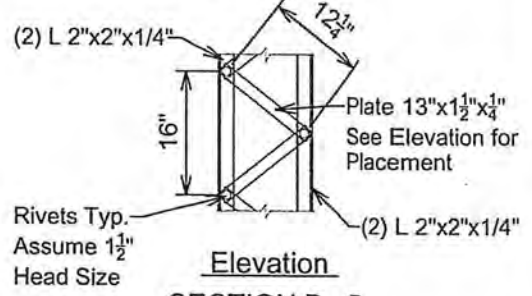
NORTH ELEVATION



**SECTION A - A**



**Top View**



**Elevation SECTION B - B**

- Notes:
1. At V1 the outside angles are bent approximately mid height.
  2. At V3 and V4 the inside angles are torn and have cover plates 4 3/8" x 1/4" welded to the angle. Not a good job of welding, approx. 35% effective.
  3. Some of the Eye Bars for the diagonal bracing are not positioned correctly and have moved from their original location.
  4. The Gusset Plates at the Pin locations are bent in approximately 1/2" at the pin only.

Surveyed By: _____	Date: _____
Drawn By: <u>AJD</u>	Date: <u>6-3-16</u>
Checked By: _____	Date: _____
Project Number: <u>L16-04-101</u>	

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**NORTH TRUSS ELEVATION**

69'-0" x 16'-0" PONY TRUSS  
 CHARLES STREET BRIDGE  
 DEADWOOD, SOUTH DAKOTA

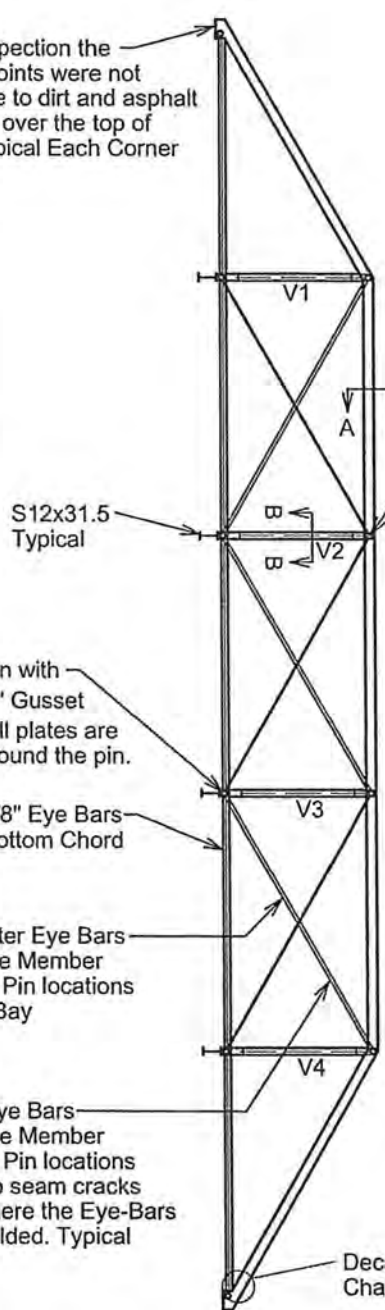
3

Sheet Number

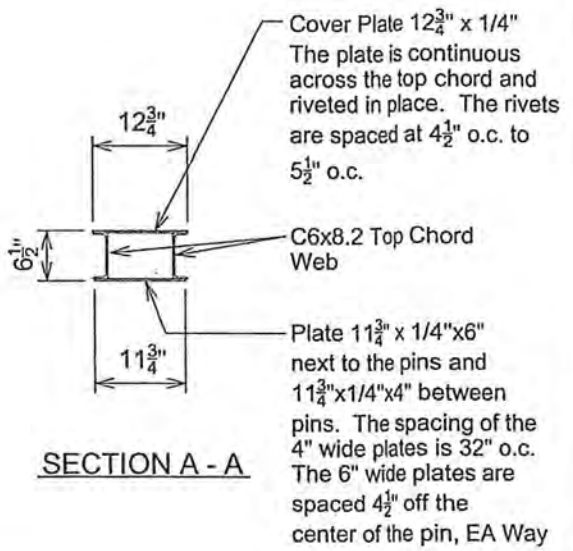
SOUTH ELEVATION

East Approach

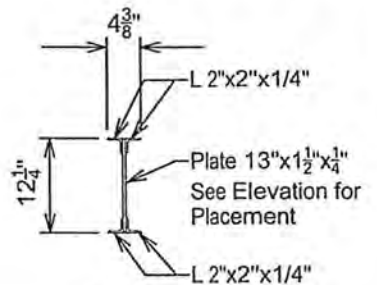
At this inspection the Bearing points were not visible due to dirt and asphalt packed in over the top of them. Typical Each Corner



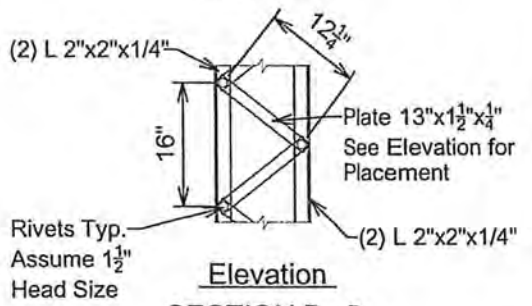
West Approach



SECTION A - A



Top View



Elevation SECTION B - B

- Notes:
1. At V1 and V3 the inside angles are bent approximately mid height.
  2. At V2 and V4 the Web plates are bent throughout.
  3. The Gusset Plates at the Pin locations are bent in approximately 1/2" at the pin only.
  4. The Southwest and Southeast corners have heavy Pack Rust at the location of the splice and cover plates.

Surveyed By: - Date: -  
 Drawn By: AJD Date: 6-3-16  
 Checked By: - Date: -  
 Project Number: L16-04-101

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SOUTH TRUSS ELEVATION

69'-0" x 16'-0" PONY TRUSS  
 CHARLES STREET BRIDGE  
 DEADWOOD, SOUTH DAKOTA

4

Sheet Number



West approach  
City of Deadwood, Charles Street Bridge 1.JPG  
5/25/2016



East approach  
City of Deadwood, Charles Street Bridge 2.JPG  
5/25/2016





View of the North opening of the structure  
City of Deadwood, Charles Street Bridge 34.JPG  
5/25/2016



View of the South bridge opening  
City of Deadwood, Charles Street Bridge 36.JPG  
5/25/2016



Pack rust on splice in diagonal member at Northwest corner  
(bottom)  
City of Deadwood, Charles Street Bridge 18.JPG  
5/25/2016



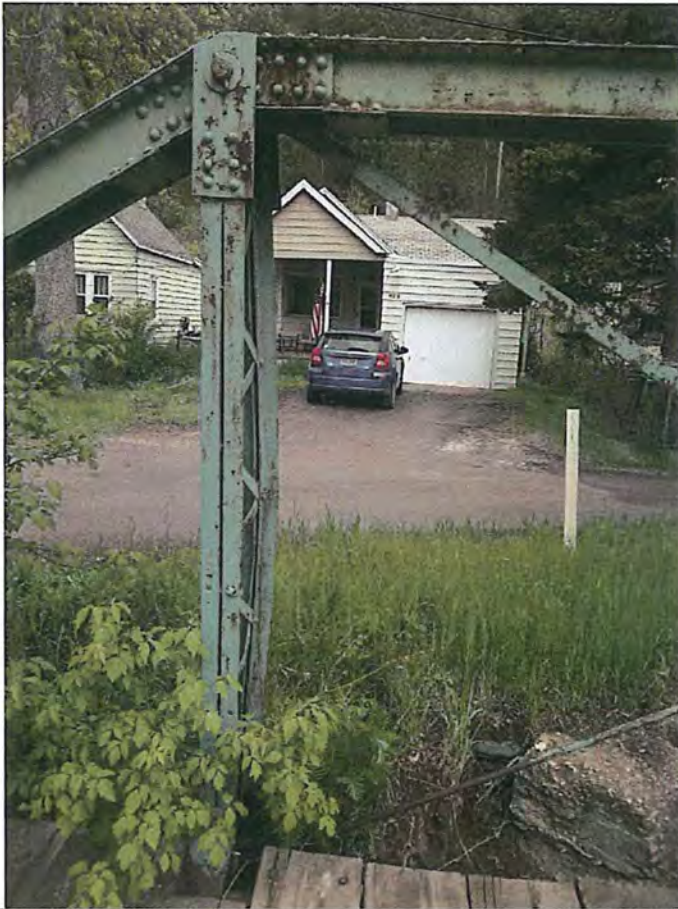
Pack rust on splice in diagonal member at Northwest corner  
(top)  
City of Deadwood, Charles Street Bridge 19.JPG  
5/25/2016



Pack rust on splice in diagonal member at Southeast corner  
(bottom)  
City of Deadwood, Charles Street Bridge 21.JPG  
5/25/2016



Pack rust on splice in diagonal member at Southeast corner  
(top)  
City of Deadwood, Charles Street Bridge 22.JPG  
5/25/2016



Bent vertical member on North side (V1)  
City of Deadwood, Charles Street Bridge 11.JPG  
5/25/2016



Bent Vertical member on North side (V2)  
City of Deadwood, Charles Street Bridge 10.JPG  
5/25/2016



Hole through web of member at Northwest corner  
City of Deadwood, Charles Street Bridge 12.JPG  
5/25/2016



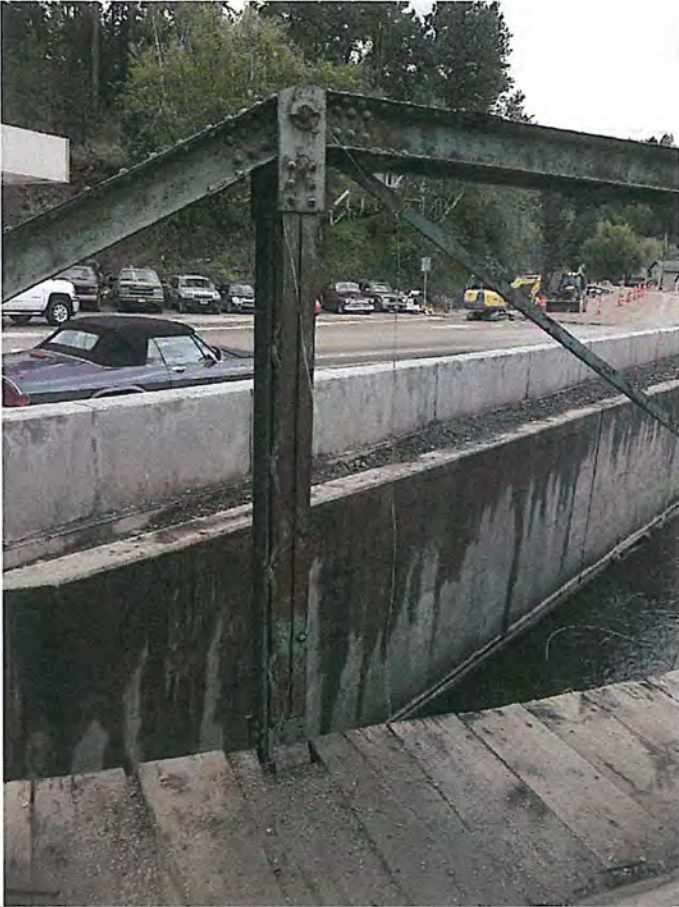
Bent plate on top chord from diagonal members (typical)  
City of Deadwood, Charles Street Bridge 17.JPG  
5/25/2016



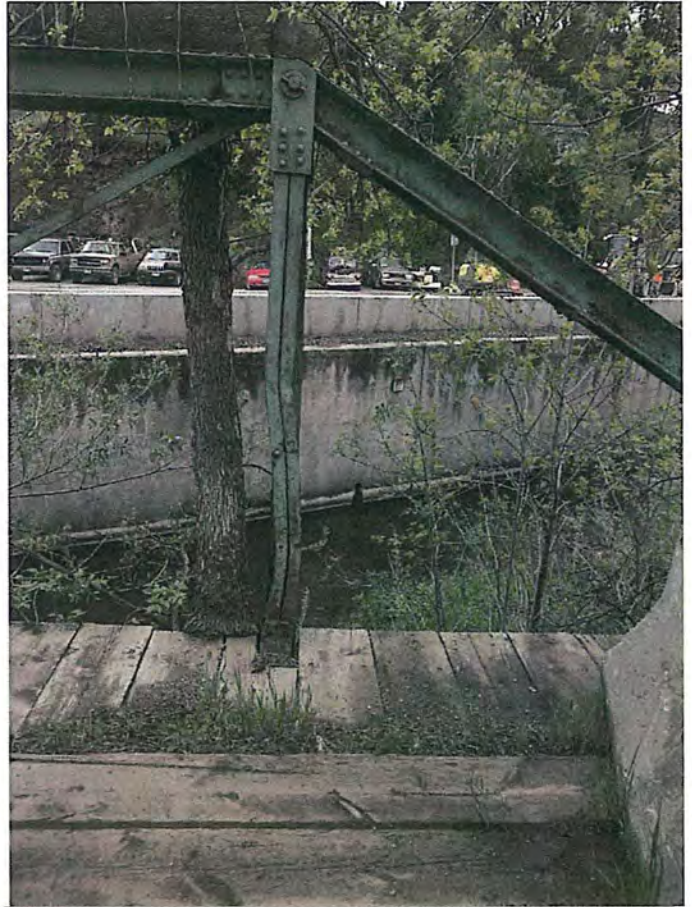
Bent vertical member on South side (V2)  
City of Deadwood, Charles Street Bridge 14.JPG  
5/25/2016



Bent vertical member on South side (V3)  
City of Deadwood, Charles Street Bridge 15.JPG  
5/25/2016



Bent vertical member on South side (V4)  
City of Deadwood, Charles Street Bridge 16.JPG  
5/25/2016



Bent vertical member on South side (V1)  
City of Deadwood, Charles Street Bridge 13.JPG  
5/25/2016



Angle iron supports for suspended gas line on North side of  
bridge  
City of Deadwood, Charles Street Bridge 20.JPG  
5/25/2016



Bent gusset plate connector of vertical member to top cord  
(typical)  
City of Deadwood, Charles Street Bridge 23.JPG  
5/25/2016





Timber shims under timber stringers on west end of bridge  
City of Deadwood, Charles Street Bridge 24.JPG  
5/25/2016



Timber shims under timber stringers on west end of bridge  
City of Deadwood, Charles Street Bridge 25.JPG  
5/25/2016



Connection of hanging floor beam to the pin of the lower cord  
(typical)  
City of Deadwood, Charles Street Bridge 26.JPG  
5/25/2016



Connection of hanging floor beam to the pin of the lower cord  
(typical)  
City of Deadwood, Charles Street Bridge 27.JPG  
5/25/2016



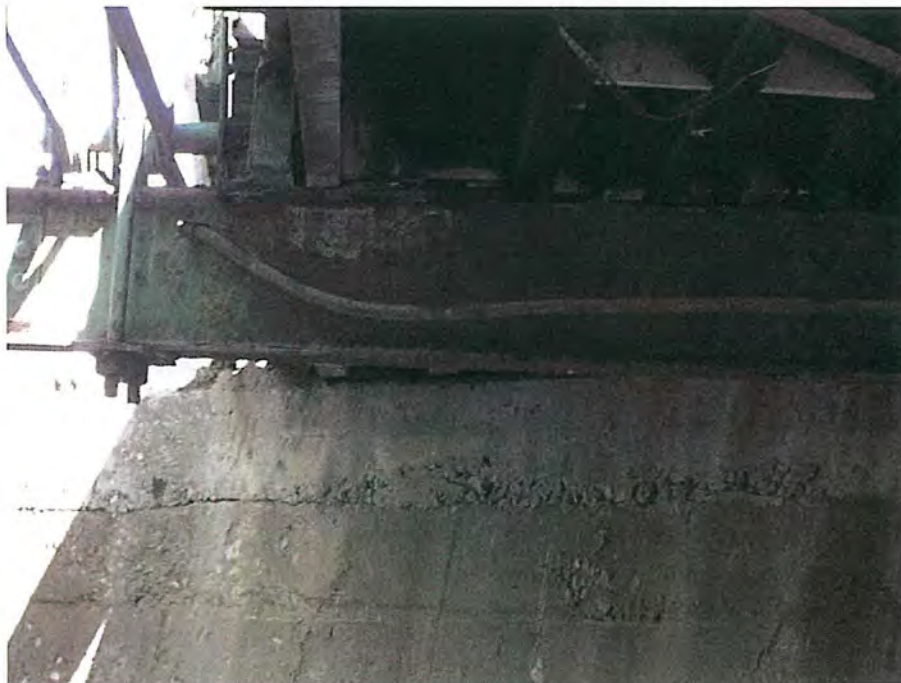
Twisted floor beam near the center of the structure  
City of Deadwood, Charles Street Bridge 28.JPG  
5/25/2016



View of the timber stringers and steel floor beams with loose  
and bent diagonal sway bracing  
City of Deadwood, Charles Street Bridge 29.JPG  
5/25/2016



Hole through web of member at Northeast corner  
City of Deadwood, Charles Street Bridge 3.JPG  
5/25/2016



Bent sway bracing near bearing at Northeast corner of the  
bridge  
City of Deadwood, Charles Street Bridge 30.JPG  
5/25/2016



View of deterioration of East abutment  
City of Deadwood, Charles Street Bridge 31.JPG  
5/25/2016



View of the West abutment with the North end of the West  
floor beam encased in concrete  
City of Deadwood, Charles Street Bridge 32.JPG  
5/25/2016



View of the North end of the second floor beam supported by  
old concrete wall  
City of Deadwood, Charles Street Bridge 33.JPG  
5/25/2016



Bent floor beam hanger on the North side of the structure  
City of Deadwood, Charles Street Bridge 35.JPG  
5/25/2016



Northeast corner of the truss in leaning outward  
City of Deadwood, Charles Street Bridge 5.JPG  
5/25/2016



Hole through web of member at Northeast corner  
City of Deadwood, Charles Street Bridge 4.JPG  
5/25/2016



Area of break on North vertical member (V4)  
City of Deadwood, Charles Street Bridge 7.JPG  
5/25/2016



Deterioration of the Southeast corner of the timber deck  
City of Deadwood, Charles Street Bridge 8.JPG  
5/25/2016





Bent vertical member on South side (V2)  
City of Deadwood, Charles Street Bridge 9.JPG  
5/25/2016



Welded splice on the Northeast vertical  
member that has been broken (V4)  
City of Deadwood, Charles Street Bridge 6.JPG  
5/25/2016



Manufacturers bolt on name plate  
City of Deadwood, Charles Street Bridge 37.JPG  
5/25/2016

City / County Deadwood  
 Structure Number 41-158-162  
 Date May 25, 2016

Bridge Description: 68' Pony Truss  
 Structure Location: On Charles Street in Deadwood (Structure to be used as a pedestrian bridge only)

NATIONAL BRIDGE ELEMENTS (NBE)

2016

Element Number	Element Description	Unit of Measure	Total Quantity	Condition State 1	Condition State 2	Condition State 3	Condition State 4
<b>DECK</b>							
31	Timber Deck	ft <sup>2</sup>	1,124.00	357.00	116.00	603.00	48.00
1140	Decay/Section Loss	ft <sup>2</sup>	164.00	-	116.00		48.00
1160	Crack (Timber)	ft <sup>2</sup>	483.00	-		483.00	
1170	Split/Delamination (Timber)	ft <sup>2</sup>	120.00	-		120.00	
1180	Abrasion/Wear (Timber)	ft <sup>2</sup>	357.00	357.00			
<b>SUPERSTRUCTURE</b>							
<b>STEEL</b>							
120	Truss	ft	139.00	-	112.00	-	27.00
1000	Corrosion	ft	114.00	-	102.00		12.00
1020	Connection	ft	10.00	-	10.00		
1900	Distortion	ft	8.00	-			8.00
7000	Damage	ft	7.00	-			7.00
152	Floor Beam	ft	90.00	-	-	68.00	22.00
1000	Corrosion	ft	82.00	-		60.00	22.00
7000	Damage	ft	8.00	-		8.00	
161	Pin and/or Pin & Hanger Assembly	each	20.00	-	14.00	2.00	4.00
1000	Corrosion	each	20.00	-	14.00	2.00	4.00
162	Gusst Plate	each	32.00	-	-	32.00	-
1900	Distortion	each	32.00	-		32.00	
<b>TIMBER</b>							
117	Stringer	ft	1,295.00	1,289.00	-	6.00	-
1150	Check/Shake	ft	6.00	-		6.00	
<b>SUBSTRUCTURE</b>							
<b>RC</b>							
215	Abutment	ft	45.00	-	21.00	24.00	-
1080	Delamination/Spall/Patched Area	ft	45.00	-	21.00	24.00	

## 2016-2017 Historic Preservation Commission Committee Assignments

# EXHIBIT C

### Archaeology, Archives, & Acquisitions (AAA) Committee

*Meets the third Wednesday of the month, as needed, at 8:00 a.m.*

- 1).
- 2).
- 3).

### Budget Committee

*Meets the second Wednesday (even months only) as needed at 4:30 p.m.*

- 1).
- 2).
- 3).

### Cemetery/GIS Committee

*Meets the first Tuesday of the month, as needed, at 4:00 p.m.*

- 1).
- 2).
- 3).

### Chamber of Commerce

- 1).
- 2).

### Demolition by Neglect

*Meets as needed*

- 1).
- 2).
- 3).

### Grants, Recognition, Advocacy, and Public Education (G.R.A.P.E.) Committee

*Meets the second Tuesday of the month (as needed) at 3:30 p.m.*

- 1).
- 2).
- 3).
- 4). Mayor Chuck Turbiville

### Loan Committee

*Meets the first and third Thursday of the month (as needed) at 8:00 a.m.*

- 1).
- 2).
- 3).

### NeighborWorks

- 1).

### Deadwood Alive

- 1).

### Policies & Procedures

*Meets as needed*

Entire Commission

### Program Committee

- 1).
- 2).
- 3).

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



Kevin Kuchenbecker  
Historic Preservation Officer  
DEADWOOD CITY HALL  
102 Sherman Street  
Telephone (605) 578-2600

## MEMORANDUM

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**Date:** June 13, 2016

**To:** Deadwood Historic Preservation Commission  
Deadwood City Commission

**From:** Bob Nelson, Jr., Zoning Administer & City Planner  
Kevin Kuchenbecker, Deadwood Historic Preservation Officer

**Re:** **Payment for Electrical Work - 76 Realignment Project**

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City staff is requesting permission to pay the following invoices for material and work done on the Days of '76 Realignment Project, totaling \$5,312.78. The amount was budgeted for 2016 from the Capital Assets line item of the Historic Preservation budget.

The following invoices were for utility work pertaining to the realignment project:

- Invoice #21343 for pull wire to main & ticket booth & sprinkler & fix pipe in football field, totaling \$3,022.39.
- Invoice #21344 for lower pipes for vault at rodeo grounds & add small ground box, totaling \$938.75.
- Invoice #21345 for moving service pipe underground, totaling \$1,351.64.

Black Hills Energy participated in this project and saved the City of Deadwood several thousands of dollars. A total of eight (8) utility poles were removed from the complex along with their associated wires.

### RECOMMENDATION

Allow the Deadwood Historic Preservation Office permission to pay the mentioned invoices for material and work done on the 76 Realignment Project, in the amount of \$5,312.78.

ACTIVITIES SCHEDULE  
STATE HISTORICAL SOCIETY BOARD OF TRUSTEES  
Hosted by the City of Deadwood Historic Preservation Commission  
Deadwood, South Dakota  
July 7 & 8, 2016

First Gold Hotel, 270 Historic Main Street – block of rooms reserved for Wednesday, Thursday and Friday. (State will pay for 2 nights lodging). It's important that you let Caroline know your lodging request before June 22. (Direct billed to SDSHS – staff and board members at the state rate of \$70; expenses not included).

Please reply back to Caroline by June 22 with the following information:

- Lodging request
- Sign up for Thursday morning walking tour, 10am-noon
- Sign up for Thursday tour projects/reception, 2:00-6:30pm
- Sign up for Thursday dinner, 6:30pm – include menu choice of grilled chicken, wild rice and vegetables; salmon on spinach and wild rice; or NY strip, garlic mashed potatoes and vegetables.  
Dessert choice (please choose): butter brickle cheesecake or strawberry rhubarb cheesecake.  
All dinners served with salad, bread, cheesecake, coffee or soda.  
Cost for attendees that are not staff or board members, \$26.00 per person (includes tip, but not alcoholic beverages).
- Sign up for Friday afternoon driving tour, 1:00-4:00pm

## Thursday, July 7, 2016

10:00am – noon      Walking tour guided by David Wolff. Five-six stops to discuss a variety of topics from “famous” persons to preservation efforts.  
Meet at the Homestake-Adams Research and Cultural Center (HARCC) at 54 Sherman Street.

### LUNCH ON YOUR OWN

2:00pm      Tour Projects and Activities in Deadwood  
Trolley will leave from the First Gold Hotel at 270 Main Street

5:00-6:30pm      Reception – Adams Museum located at 54 Sherman Street

6:30pm      Dinner – Deadwood Social Club, Saloon #10 at 657 Main Street  
(Direct billed to SDSHS – staff and board members; includes tip, but not alcoholic beverages)

## Friday, July 8, 2016

9:00am – noon      SDSHS Board of Trustees Meeting  
Days of 76 Museum – Mary Adams Room located at 18 Seventy Six Drive  
(coffee, water, muffins and danishes served)

### LUNCH ON YOUR OWN

1:00-4:00pm      Driving tour guided by David Wolff. Start at the Days of 76 Museum, Central City, Lead, Pluma and several stops, including the Homestake Opera House.  
City suburban will be available for 8 people.

July 7, 2016, 6:30 p.m.

Dinner

Deadwood Social Club—Saloon #10

657 Main Street

## Menu

### Mediterranean Chicken

Grilled chicken breast smothered in tomatoes, artichokes and spinach, wild rice pilaf and fresh vegetables

### Grilled Salmon

Glazed with lemon caper butter with a bed of spinach and wild rice pilaf

### New York Strip

8 oz. Choice sirloin, char-broiled, garlic mashed potatoes and fresh vegetables

### Please Choose a Homemade Dessert:

Butter Brickle Cheesecake or  
Strawberry Rhubarb Cheesecake

All dinners served with salad, bread,  
homemade cheesecake, and coffee or soda  
\$26.00 per person

Please inform Caroline Uecker if you have a dietary need

# EXHIBIT F

Date: 6/10/2016

Case No. H16028  
Address: 560 MAIN ST

## Staff Report

The applicant has submitted an application for Certificate of Appropriateness for work at 560 MAIN ST, a contributing structure located in the China Town Planning Unit in the City of Deadwood.

Applicant: DEADWOOD GULCH SALOON  
Owner: DEADWOOD GULCH SALOON  
Constructed: 1924

### CRITERIA FOR THE ISSUANCE OF A CERTIFICATE OF APPROPRIATENESS

The Historic District Commission shall use the following criteria in granting or denying the Certificate of Appropriateness:

#### General Factors:

**1. Historic significance of the resource:** This two-story stucco building was built as a one-story brick store c. 1885. The second wooden story was added a few years later. The stucco is of more recent vintage. Hi Kee was Wing Tsue's only competitor for business in Chinatown, which at its peak included a population of more than 200 residents. Many left after passage of the Chinese Exclusion Act. By 1920 there were fewer than 50 Chinese residents, and by the 1930's, Chinatown was vacant.

**2. Architectural design of the resource and proposed alterations:** The applicant requests permission to add a shed to the property. The shed is 10'x12' on skid/wood floor with 4' covered porch. The stain will be dark to look old and the shed will have a metal roof and Dutch doors.

**Attachments:** No

**Plans:** No

**Photos:** Yes

#### Staff Opinion:

Historically, early Deadwood Buildings were constructed of wood, with board and battens and were rough sawn and hastily put together. This shed could be reminiscent of this early era of Deadwood. It would be staff's recommendation, if approved, the applicant should understand the building would need to be removed if allowed to deteriorate or become a maintenance issue.

This utility shed is easily reversible addition to the streetscape in the historic district. The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building but may have an adverse effect on the historic character of the local historic district, the State and National Register Historic Districts or the Deadwood National Historic Landmark District.





**Motions available for commission action:**

**A:** Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness.

**OR**

**B:** Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is incongruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to deny Certification of Appropriateness.

OFFICE OF  
 PLANNING, ZONING AND  
 HISTORIC PRESERVATION  
 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	H16028
<input type="checkbox"/> Project Approval	
<input checked="" type="checkbox"/> Certificate of Appropriateness	
Date Received	6/10/16
Date of Hearing	6/22/16

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION	
Property Address:	560 MAIN ST.
Historic Name of Property (if known):	

APPLICANT INFORMATION	
Applicant is:	<input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other

Owner's Name: <u>DEADWOOD GULCH SALOON</u> Address: <u>560 MAIN ST.</u> City: <u>DEADWOOD</u> State: <u>SD</u> Zip: <u>57732</u> Telephone: <u>605-645-2869</u> Fax: _____ E-mail: <u>RICH@RUSHMORE.COM</u>	Architect's Name: _____ Address: _____ City: <u>N/A</u> State: _____ Zip: _____ Telephone: _____ Fax: _____ E-mail: _____
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------

Contractor's Name: <u>BRIAN GERVIN</u> Address: _____ City: <u>LESD</u> State: <u>SD</u> Zip: <u>57754</u> Telephone: _____ Fax: _____ E-mail: _____	Agent's Name: _____ Address: _____ City: <u>N/A</u> State: _____ Zip: _____ Telephone: _____ Fax: _____ E-mail: _____
------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------

TYPE OF IMPROVEMENT			
<input type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input type="checkbox"/> Windows	<input type="checkbox"/> Fencing
<input type="checkbox"/> Other <u>SHED</u>	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: <u>ASAP</u>		Project Completion Date (anticipated): <u>1 week</u>	
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____		
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
	<input type="checkbox"/> Restoration		<input type="checkbox"/> Replacement <input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration <input type="checkbox"/> Replacement	
	Material _____ Style/type _____ Dimensions _____		
<input checked="" type="checkbox"/> OTHER – Describe in detail below or use attachments			

**DESCRIPTION OF ACTIVITY**

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

SHEO, per DRAWING

**SIGNATURES**

I **HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

 9-10-16  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

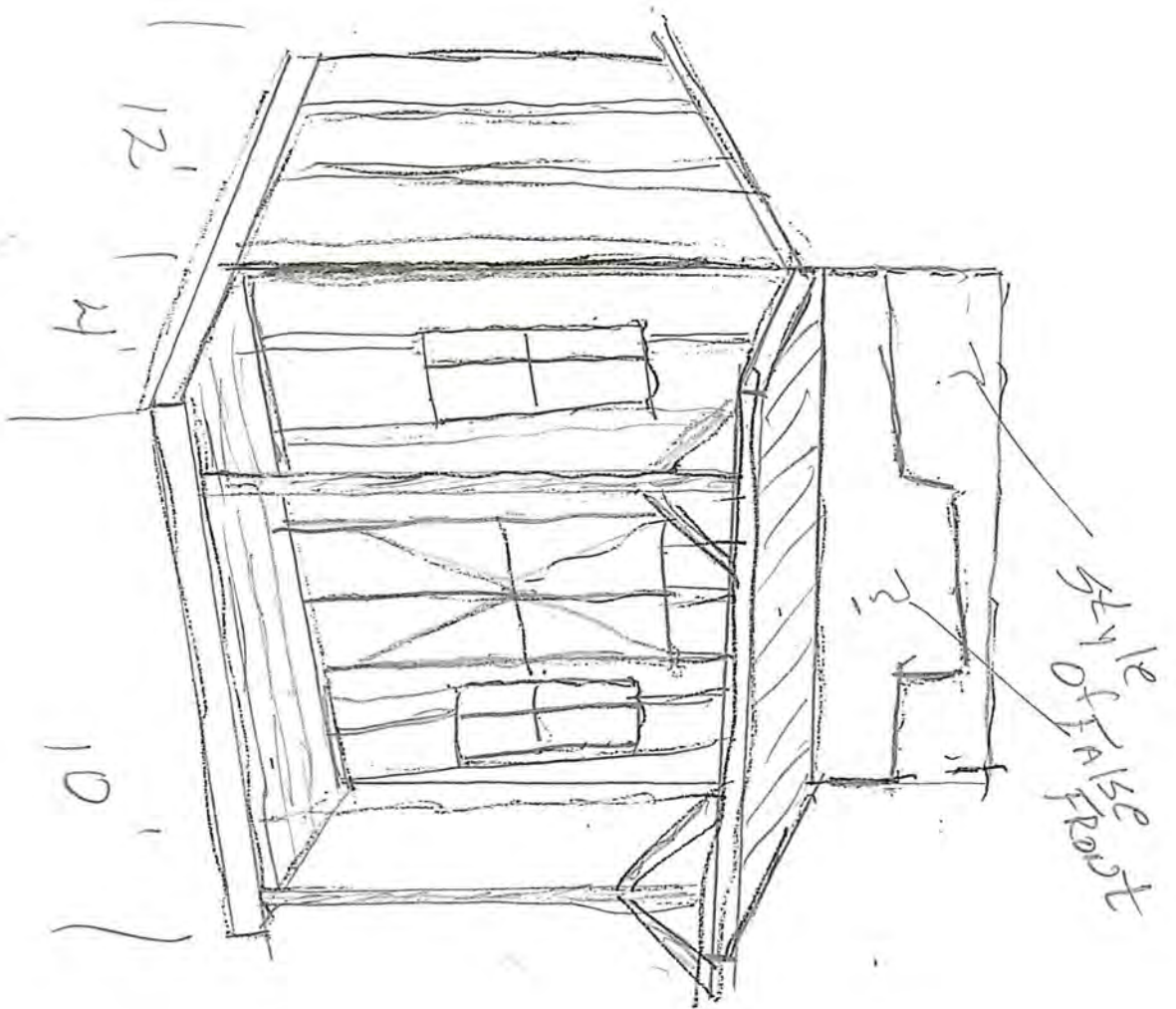
\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

**APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.



10' x 12'  
 Storage Shed  
 Old Skid/wood  
 Floor  
 4' Covered Porch  
 Stain will be  
 Dark to look  
 Old.  
 Metal (Old Galv.)  
 Old Roof  
 Dutch Doors

Date: 6/16/2016

Case No. H16029

Address: 592/594 MAIN STREET

## Staff Report

The applicant has submitted an application for Certificate of Appropriateness for work at 592 MAIN STREET, a contributing structure located in the Deadwood City Planning Unit in the City of Deadwood.

Applicant: BELLE JOLI - DR. JOHN & PATTY JACKSON

Owner: BOB NELSON

Constructed: 1936

### CRITERIA FOR THE ISSUANCE OF A CERTIFICATE OF APPROPRIATENESS

The Historic District Commission shall use the following criteria in granting or denying the Certificate of Appropriateness:

#### General Factors:

**1. Historic significance of the resource:** With the increasing competition for customers in the 1930's, there was a trick to attracting automobile drivers to your place of business. Gasoline companies proved to be particularly innovative in this respect. Their building might take almost any shape, from giant seashells to tiny palaces. The cottage was an especially popular form, representing security and trustworthiness to motorists far from home. By using the same design throughout its territory, the company could show success, and increase business by developing customer familiarity. Socony, the Standard Oil Company of New York, adopted a colonial cottage style for its stations. While the design blended well into the architecture of the east coast, it fit less well into the design of wild West towns such as Deadwood. This facility was the latest thing in gas station design when it was built in 1936. Note the separate service garage and matching fence.

**2. Architectural design of the resource and proposed alterations:** The applicant is requesting permission to add seasonal exterior fencing and lighting, front door and propane fire pits.

**Attachments:** Yes

**Plans:** No

**Photos:** Yes

**Staff Opinion:** Staff is researching photographic documentation to determine appropriate style of proposed front door. The applicant's selection may not be appropriate to the architectural style of the resource. The proposed door is more of a craftsman style rather than the style of the service station built in 1936. The seasonal railing, lighting and propane fire pits do not distract from the architecture of the building any more or less than the outdoor patio. It is staff's opinion these amenities for the customers actually add to the quaintness of the setting for the current use of the property and therefore do not encroach upon, damage or destroy a historic resource.

Staff will continue to research photos and similar architectural styles to determine a possible alternate for the front door and work with the applicant. The proposed work and changes, with the exception of the proposed door, do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.



**Motions available for commission action:**

**A:** Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness.

**OR**

**B:** Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is incongruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to deny Certification of Appropriateness.

OFFICE OF  
 PLANNING, ZONING AND  
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 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	H16029
<input type="checkbox"/> Project Approval	
<input checked="" type="checkbox"/> Certificate of Appropriateness	
Date Received	6/15/16
Date of Hearing	6/22/16

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

592 PROPERTY INFORMATION
Property Address: <u>539 Main St. Deadwood</u>
Historic Name of Property (if known): <u>GAS STATION (1930's)</u>

APPLICANT INFORMATION
Applicant is: <input type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input checked="" type="checkbox"/> other <u>Renter</u>

Owner's Name: <u>Bob Nelson</u>
Address: <u>P.O. Box 822</u>
City: <u>Spear Falls</u> State: <u>SD</u> Zip: <u>57101</u>
Telephone: <u>6053511531</u> Fax: _____
E-mail: _____

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: <u>Belle Joli</u> <u>John JACKSON</u>
Address: <u>1108 BTA AVE</u>
City: <u>Belle Fourche</u> State: <u>SD</u> Zip: <u>57717</u>
Telephone: <u>605200218</u> Fax: _____
E-mail: <u>jackson@bellejoli.com</u>

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT
<input type="checkbox"/> Alteration (change to exterior) <input type="checkbox"/> New Building <input type="checkbox"/> Addition <input type="checkbox"/> Accessory Structure <input type="checkbox"/> New Construction <input type="checkbox"/> Re-Roofing <input type="checkbox"/> Wood Repair <input type="checkbox"/> Exterior Painting <input type="checkbox"/> General Maintenance <input type="checkbox"/> Siding <input type="checkbox"/> Windows <input checked="" type="checkbox"/> Other <u>Seasonal - exterior fencing + Lighting</u> <input type="checkbox"/> Awning <input type="checkbox"/> Sign <input type="checkbox"/> Fencing



ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: <u>ASAP</u>	Project Completion Date (anticipated): _____		
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____		
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
		<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement <input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement
	Material _____ Style/type _____ Dimensions _____		
<input checked="" type="checkbox"/> OTHER – Describe in detail below or use attachments <u>Seasonal exterior fencing + Lighting</u>			

**DESCRIPTION OF ACTIVITY**

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

enclosed is Photos of front door The glass panel is clear simple as possible

railings - would take the place of chains that use to ~~connect~~ <sup>connect</sup> to metal poles which are still present.



FOR OFFICE USE ONLY  
Case No. H16029

**SIGNATURES**

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

_____ SIGNATURE OF OWNER(S)	_____ DATE
	
_____ SIGNATURE OF OWNER(S)	_____ DATE
	
_____ SIGNATURE OF OWNER(S)	_____ DATE
	

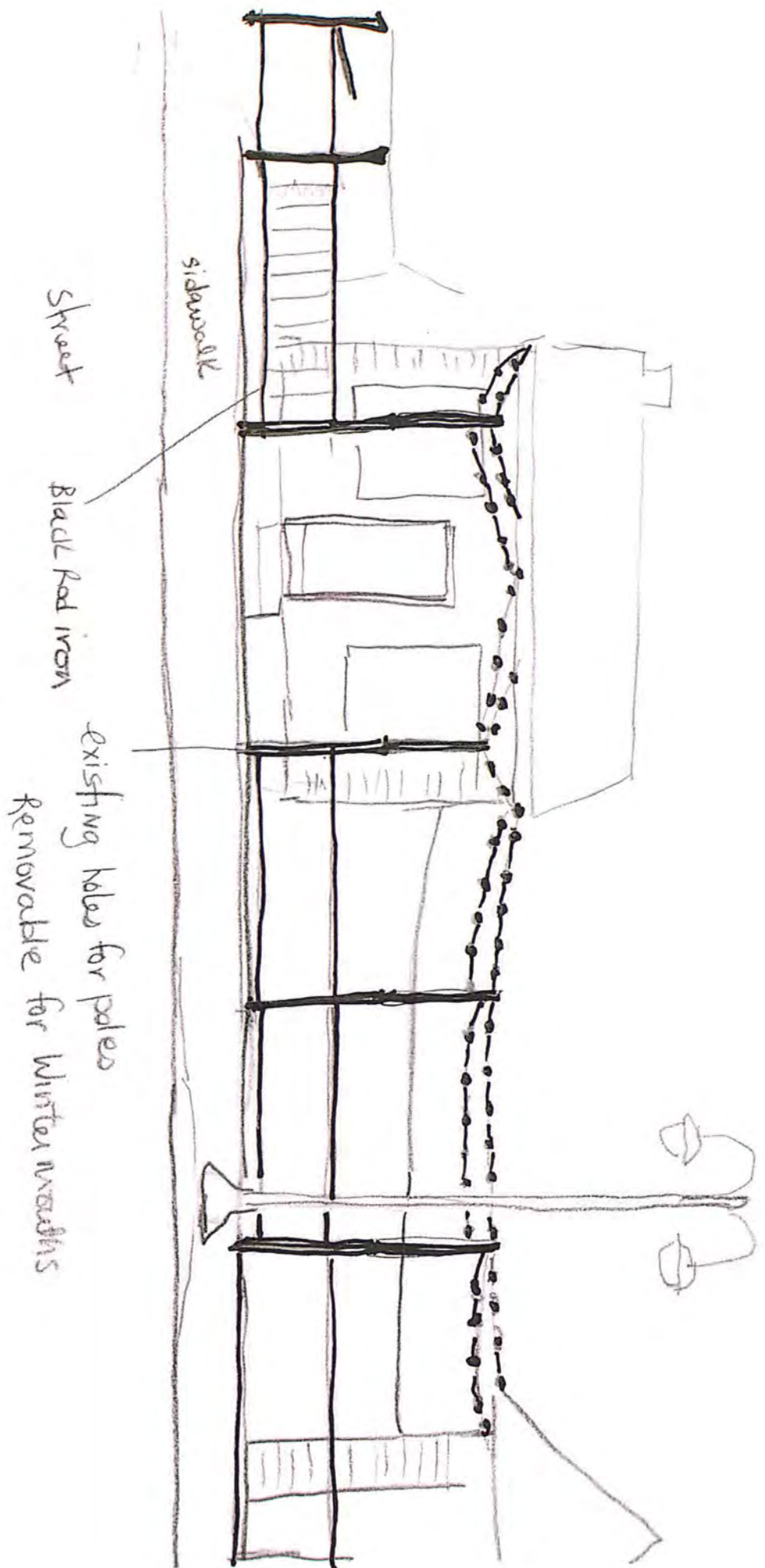
_____ SIGNATURE OF AGENT(S)	_____ DATE
_____ SIGNATURE OF AGENT(S)	_____ DATE
_____ SIGNATURE OF AGENT(S)	_____ DATE

**APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.



Street

sidewalk

Black Rod iron

existing holes for poles  
removable for winter months



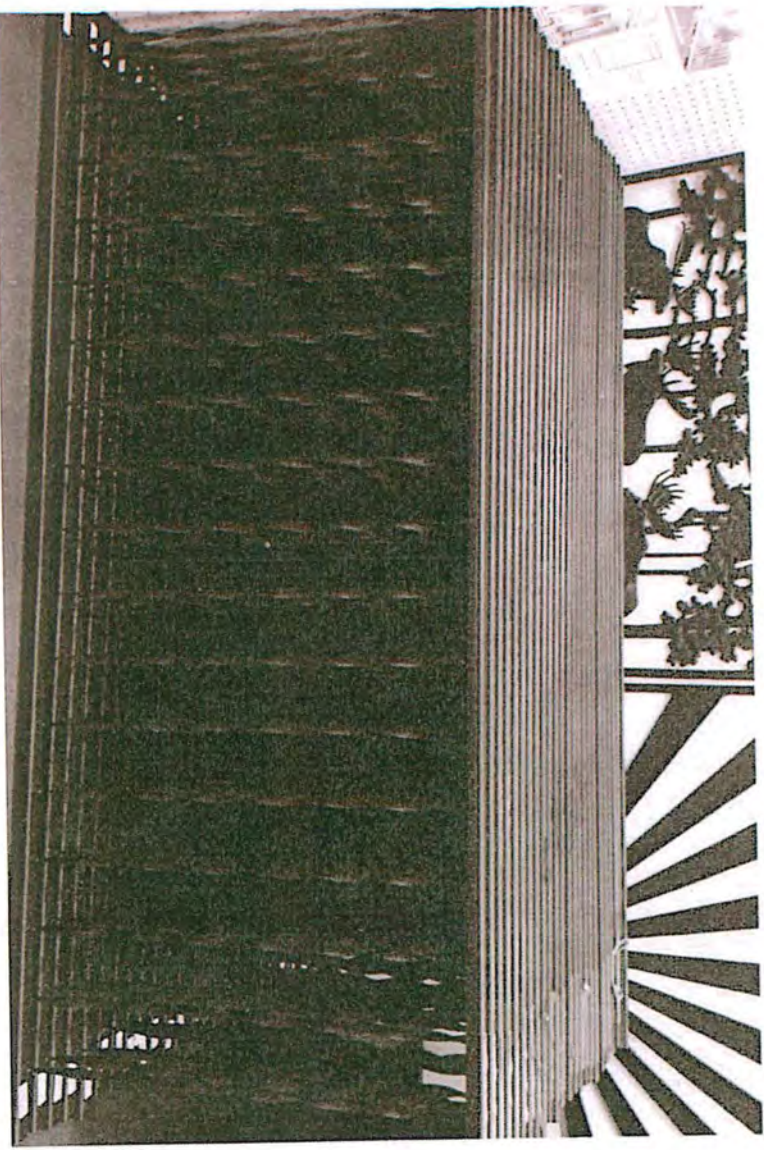
propane GAS

3ft H

3ft W



→ Clear glass



34" H  
6' or 4' - W



Fence opening in front

existing poles

Date: 6/08/2016

Case No. H16025

Address: 416 WILLIAMS ST

## Staff Report

The applicant has submitted an application for Project Approval for work at 416 WILLIAMS ST, a contributing structure located in Deadwood City Planning Unit in the City of Deadwood.

Applicant: ROBERT SJOMELING

Owner: ROBERT SJOMELING

Constructed: circa 1880

## CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

### General Factors:

**1. Historic significance of the resource:** This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood. Spurred by the tremendous mining boom of 1876, Deadwood grew quickly and became the first major urban center of western South Dakota. This house displays the architectural characteristics common to working-class housing in pre-World War I Deadwood. These small, vernacular cottages, typically of foursquare or T-gable plan, occasionally featured limited Queen Anne detailing. A number of these houses survive today, scattered throughout Deadwood's neighborhoods.

**2. Architectural design of the resource and proposed alterations:** The applicant has requested to install new storm windows and storm doors on the front, sides, and rear of the structure. The applicant is also received quotes to lift the front porch which has dropped and beginning to pull away from the house.

**Attachments:** No

**Plans:** No

**Photos:** Yes

### Staff Opinion:

The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.





**Motions available for commission action:**

**A:** If you, as a commissioner, have determined the Project **DOES NOT** Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

---

**If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:**

**B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

**C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF  
 PLANNING, ZONING AND  
 HISTORIC PRESERVATION  
 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	<u>16025</u>
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	<u>6 / 8 / 16</u>
Date of Hearing	<u>6 / 22 / 16</u>

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: <u>416 Williams St - Deadwood</u>
Historic Name of Property (if known):

APPLICANT INFORMATION
Applicant is: <input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: <u>Robert &amp; Mary Sjome ting</u>
Address: <u>416 Williams St</u>
City: <u>Deadwood</u> State: <u>SD</u> Zip: <u>57732</u>
Telephone: <u>605-722-2846</u> Fax: _____
E-mail: _____

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT			
<input type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input checked="" type="checkbox"/> Exterior Painting
<input checked="" type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input checked="" type="checkbox"/> Windows	<input type="checkbox"/> Fencing
<input type="checkbox"/> Other _____	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	

<b>ACTIVITY: (CHECK AS APPLICABLE)</b>			
Project Start Date: _____		Project Completion Date (anticipated): _____	
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential	<input type="checkbox"/> Other _____	
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> WINDOWS	<input checked="" type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input checked="" type="checkbox"/> STORM DOORS
	<input type="checkbox"/> Restoration	<input checked="" type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input checked="" type="checkbox"/> Front	<input checked="" type="checkbox"/> Side(s)	<input checked="" type="checkbox"/> Rear
Material _____ Style/type _____			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement
	Material _____ Style/type _____ Dimensions _____		
<input type="checkbox"/> OTHER – Describe in detail below or use attachments			

**DESCRIPTION OF ACTIVITY**

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

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**SIGNATURES**

I **HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

Robert Spamel      6/7/16  
SIGNATURE OF OWNER(S)      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)      DATE

Mary E. Spamel      \_\_\_\_\_  
SIGNATURE OF OWNER(S)      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)      DATE

**APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

# EXHIBIT I

Date: 6/10/2016

Case No. H16026  
Address: 23 BURNHAM AVE

## Staff Report

The applicant has submitted an application for Project Approval for work at 23 BURNHAM AVE, a contributing structure located in the Highland Park Addition Planning Unit in the City of Deadwood.

Applicant: TERRY HANSEN  
Owner: TERRY HANSEN  
Constructed: circa 1890

## CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

### General Factors:

- 1. Historic significance of the resource:** This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood. Spurred by the tremendous mining boom of 1876, Deadwood grew quickly and became the first major urban center of western South Dakota. Deadwood's economic prominence during the late 1800s and early 1900s was reflected by the construction of a number of large residences such as this one. These houses displayed a variety of architectural styles: Queen Anne, Second Empire, Colonial, and even Gothic variants are found locally. Together, these houses are among the strongest reminders of Deadwood's nineteenth-century boom.
- 2. Architectural design of the resource and proposed alterations:** The applicant is requesting permission to replace doors on the structure.

**Attachments:** No

**Plans:** No

**Photos:** Yes

### Staff Opinion:

The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.



**Motions available for commission action:**

**A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

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**If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:**

**B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

**C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF  
 PLANNING, ZONING AND  
 HISTORIC PRESERVATION  
 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	H16025
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	6/8/16
Date of Hearing	6/22/16

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: <u>23 Burnham</u>
Historic Name of Property (if known):

APPLICANT INFORMATION
Applicant is: <input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: <u>Terry or Barb Hansen</u>
Address: <u>23 Burnham</u>
City: <u>Deadwood</u> State: <u>SD</u> Zip: <u>57732</u>
Telephone: <u>578-3765</u> Fax: _____
E-mail: _____

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT			
<input type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input type="checkbox"/> Windows	<input type="checkbox"/> Fencing
<input checked="" type="checkbox"/> Other <u>Doors</u>	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	

ACTIVITY: (CHECK AS APPLICABLE)	
Project Start Date: _____	Project Completion Date (anticipated): _____
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____
<input type="checkbox"/> ROOF	<input type="checkbox"/> New <input type="checkbox"/> Re-roofing <input type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New <input type="checkbox"/> Rehabilitation <input type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New <input type="checkbox"/> Replacement <input type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear Material _____ Style/type _____ Dimensions _____
<input type="checkbox"/> WINDOWS <input type="checkbox"/> STORM WINDOWS <input checked="" type="checkbox"/> DOORS <input type="checkbox"/> STORM DOORS	<input type="checkbox"/> Restoration <input checked="" type="checkbox"/> Replacement <input type="checkbox"/> New <input type="checkbox"/> Front <input type="checkbox"/> Side(s) <input type="checkbox"/> Rear Material _____ Style/type _____
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New <input type="checkbox"/> Restoration <input type="checkbox"/> Replacement Material _____ Style/type _____ Dimensions _____
<input type="checkbox"/> OTHER – Describe in detail below or use attachments	

**DESCRIPTION OF ACTIVITY**

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

DOORS TO BE SIMILAR IN  
STYLE TO EXISTING  
DOORS. NOT ORIGINAL  
TO HOUSE.  
PER TERRY 6/18/16  
10:50 am



**SIGNATURES**

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

*Tony Hansen* 6/8/16  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

**APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

# EXHIBIT J

Date: 6/16/2016

Case No. H16027  
Address: 21 BURNHAM AVE

## Staff Report

The applicant has submitted an application for Project Approval for work at 21 BURNHAM AVE, a non-contributing structure located in Highland Park Planning Unit in the City of Deadwood.

Applicant: JODI CAMPBELL  
Owner: JODI CAMPBELL  
Constructed: circa 1900

### CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

#### General Factors:

- 1. Historic significance of the resource:** City directories and county assessor records suggest that this house was constructed in approximately 1900. The house has sustained numerous modern alterations, including removal of the historic porch, residing with wide-exposure hardboard, and installation of modern fenestration, including two picture windows. Because of these changes, the building has lost integrity and cannot currently contribute to the Deadwood National Historic Landmark District.
- 2. Architectural design of the resource and proposed alterations:** The applicant requests permission to replace siding and windows on structure to bring it back to a contributing resource.

**Attachments:** No

**Plans:** No

**Photos:** Yes

**Staff Opinion:** Staff is arranging a meeting to discuss siding materials and reveal along with assessing the windows on the resource. This project could be a step to reversing the inappropriate changes to this resource.

If appropriate materials are used, the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.



**Motions available for commission action:**

**A:** If you, as a commissioner, have determined the Project **DOES NOT** Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

---

**If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:**

**B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

**C: Second Motion:**

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF  
 PLANNING, ZONING AND  
 HISTORIC PRESERVATION  
 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	H16027
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	6/10/16
Date of Hearing	6/22/16

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: <u>21 Burnham Ave Deadwood, SD</u>
Historic Name of Property (if known):

APPLICANT INFORMATION
Applicant is: <input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: <u>Jodi Campbell</u>
Address: <u>21 Burnham Ave</u>
City: <u>Deadwood</u> State: <u>SD</u> Zip: <u>57732</u>
Telephone: <u>605-441-4669</u> Fax: _____
E-mail: <u>jodimackey@live.com</u>

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT			
<input checked="" type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input type="checkbox"/> Windows	<input type="checkbox"/> Fencing
<input type="checkbox"/> Other _____	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	

<b>ACTIVITY: (CHECK AS APPLICABLE)</b>			
Project Start Date: _____		Project Completion Date (anticipated): _____	
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____		
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input checked="" type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> OTHER – Describe in detail below or use attachments			

**DESCRIPTION OF ACTIVITY**

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

Windows and siding

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**SIGNATURES**

I **HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

Jodi Campbell 6/10/16  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

**APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

OFFICE OF  
PLANNING, ZONING AND  
HISTORIC PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



KEVIN KUCHENBECKER  
Historic Preservation Officer  
Telephone: (605) 578-2082  
Fax: (605) 578-2084  
[kevin@cityofdeadwood.com](mailto:kevin@cityofdeadwood.com)

## MEMORANDUM

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**Date:** June 16, 2016  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
**Re:** Case No. H16030 – New Construction – 372 Main – Optima, LLC

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This office has received the application from Optima, LLC for new construction of an 18,730 square foot 4-story hotel with gaming and restaurant function on the first floor. The structure, as proposed, will have brick and an EIFS façade of colors copied from Cadillac Jack's and Springhill Suites, with aluminum storefront window frames, below grade parking structure, and the top of the addition not to exceed existing hotel building.

Staff has met several times with the ownership and architect to develop a building which would be as compatible as possible to the historic district while attempting to meet the needs of the ownership group and national chain. This office has also shared with the National Park Service's National Historic Landmark division in Omaha and the South Dakota State Historic Preservation Office the variety of design alternatives and options leading up to the submittal of the proposed new construction. It has been the intention of all the above referenced parties to minimize an adverse effect to the historic districts and surrounding properties.

While closely involved with the project, this office has not been able to develop a full staff report for inclusion of this packet at this time. It is our intention to provide the staff report prior to the meeting; however, at this point, as historic preservation officer, I have not been able to prioritize my attention to this project. Please accept my humble apology in the delay in providing you a written staff report at this time; however, our office has been overwhelmingly busy with film crews, meetings and other projects. Thank you in advance for your understanding.

OFFICE OF  
**PLANNING, ZONING AND  
 HISTORIC PRESERVATION**  
 108 Sherman Street  
 Telephone (605) 578-2082  
 Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	<u>H16030</u>
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	<u>6/15/16</u>
Date of Hearing	<u>6/22/16</u>

## City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood  
 Deadwood Historic Preservation Office  
 108 Sherman Street  
 Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: <u>372 Main St. Deadwood, SD 57732</u>
Historic Name of Property (if known): _____

APPLICANT INFORMATION
Applicant is: <input type="checkbox"/> owner <input type="checkbox"/> contractor <input checked="" type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: <u>Optima, LLC</u>
Address: <u>927 West Main St.</u>
City: <u>Rapid City</u> State: <u>SD</u> Zip: <u>577001</u>
Telephone: <u>605.341.0500</u> Fax: <u>605.399.9020</u>
E-mail: _____

Architect's Name: <u>Chamberlin Architects</u>
Address: <u>725 Saint Joseph St</u>
City: <u>Rapid City</u> State: <u>SD</u> Zip: <u>57701</u>
Telephone: <u>605.355.6804</u> Fax: <u>605.341.6804</u>
E-mail: _____

Contractor's Name: _____
Address: _____
City: _____   State: _____   Zip: _____
Telephone: _____   Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____   State: _____   Zip: _____
Telephone: _____   Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT
<input type="checkbox"/> Alteration (change to exterior) <input type="checkbox"/> New Building <input type="checkbox"/> Addition <input type="checkbox"/> Accessory Structure <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Re-Roofing <input type="checkbox"/> Wood Repair <input type="checkbox"/> Exterior Painting <input type="checkbox"/> General Maintenance <input type="checkbox"/> Siding <input type="checkbox"/> Windows <input type="checkbox"/> Fencing <input type="checkbox"/> Other _____ <input type="checkbox"/> Awning <input type="checkbox"/> Sign



<b>ACTIVITY: (CHECK AS APPLICABLE)</b>			
Project Start Date: <u>Fall 2016</u>		Project Completion Date (anticipated): <u>Summer 2018</u>	
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input checked="" type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input checked="" type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential	<input type="checkbox"/> Other <u>Hotel addition</u>	
<input checked="" type="checkbox"/> ROOF	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input checked="" type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input checked="" type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material <u>Aluminum</u> Style/type <u>Anodized Storefront</u>			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> OTHER – Describe in detail below or use attachments			

**DESCRIPTION OF ACTIVITY**

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.


- 18,730 sf (footprint) 4-story hotel
- Gaming & restaurant function on 1st floor; Guest rooms on 2nd, 3rd & 4th .
- Brick & EIFS facade of colors copied from Cadillac Jack's & Springhill Suites
- Aluminum storefront window frames (anodized)
- Below grade parking structure
- Top of addition not to exceed existing hotel building
- (See attached drawings & renderings)


**SIGNATURES**

**I HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

  
\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE                      June 15, 2016

  
\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE                      4/15/16

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER(S)                      DATE

\_\_\_\_\_  
SIGNATURE OF AGENT(S)                      DATE

**APPLICATION DEADLINE**

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1<sup>st</sup> or 3<sup>rd</sup> Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

**Please use the attached criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

C H A M B E R L I N  
· · · · ·  
A R C H I T E C T S

Kevin Kuchenbecker, Historic Preservation Commissioner  
Historic Preservation  
City of Deadwood  
102 Sherman Street  
Deadwood, SD 57732

RE: TRU Hotel Addition to Cadillac Jack's

June 15, 2016

Dear Historic Preservation Commission Members,

On behalf of Optima, LLC, Chamberlin Architects is submitting the attached HPC application for the TRU Hotel addition to Cadillac Jack's Hotel and Gaming.

TRU is a very new hotel brand under Hilton Worldwide, and is designed for the millennial generation. Their contemporary, prototypical architecture is meant to appeal to a younger generation with an emphasis on affordable, no-frills lodging, yet still maintaining a "hip" appearance.

While this target market will certainly add a new dimension to the lodging demographic in Deadwood, we've understood from the beginning that there would be some challenges bringing the modern TRU philosophy to a historic landmark.

Because we anticipated this, we started very early in the design process to test concepts, present options and coordinate goals of Deadwood Historic Preservation, TRU Hotel and the Owner. We started the process by meeting with Kevin Kuchenbecker to present a dozen rough conceptual sketches to get feedback. We continued meeting with Kevin multiple times over the past six months to narrow down options and make revisions, and Kevin continued to communication with NPS and SHPO to get their opinions.

The design that we are submitting with this application is one that all parties feel good about, and we believe is compatible with the existing adjacent, hospitality architecture.

Thank you for your consideration, and please feel free to ask any questions you might have. I plan to attend the HPC meeting on the 22<sup>nd</sup>.

Sincerely,



Bradley P. Burns, AIA  
Chamberlin Architects, PC



**TRU HOTEL EXTERIOR MATERIALS**

- DRYVIT SYSTEM: SANDBLAST; MATCH SPRINGHILL BROWN BRICK
- DRYVIT SYSTEM: DEMANDIT COLOR COATING OVER-SANDBLAST (FRANCHISE COLOR)
- ALUMINUM STOREFRONT & GLAZING
- DRYVIT SYSTEM: SANDBLAST; MATCH SPRINGHILL PARAPET DRYVIT
- DRYVIT SYSTEM: DEMANDIT COLOR COATING OVER-SANDBLAST (FRANCHISE COLOR)
- DRYVIT SYSTEM: SANDBLAST/ METAL TRIM; MATCH BRICK 4
- DRYVIT SYSTEM: DEMANDIT COLOR COATING OVER-SANDBLAST (FRANCHISE COLOR)
- DRYVIT SYSTEM: DEMANDIT COLOR COATING OVER-SANDBLAST (FRANCHISE COLOR)
- DRYVIT SYSTEM: DEMANDIT COLOR COATING OVER-SANDBLAST (FRANCHISE COLOR)

**CADILLAC JACKS ADDITION EXTERIOR MATERIALS**

- STONE 1; MATCH CJ's
- BRICK 1; MATCH SPRINGHILL BROWN BRICK
- BRICK 2; MATCH CJ's PILASTER BRICK
- BRICK 3; NEW COLOR
- STOREFRONT GLAZING & CANOPY MATERIAL
- CANOPY STEEL, COMPISITE METAL PANEL & METAL TRIM
- COMPOSITE METAL PANEL SYSTEM

NOTE: TOP OF NEW HOTEL ADDITION NOY TO EXCEED EXG CADILLAC JACKS BUILDING

**CADILLAC JACKS ADDITION - EXTERIOR CONCEPT**

6.15.16

C H A M B E R L I N  
A R C H I T E C T S

437 Main St  
Grand Junction, CO 81501  
970.242.8001

725 South Joseph St. Suite 811  
Pueblo, CO 81001  
719.244.0804





OFFICE OF  
PLANNING, ZONING AND HISTORIC  
PRESERVATION  
108 Sherman Street  
Telephone (605) 578-2082  
Fax (605) 578-2084



Kevin Kuchenbecker  
Historic Preservation Officer  
Telephone (605) 578-2082  
Kevin@cityofdeadwood.com

## MEMORANDUM

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**Date:** June 17, 2016  
**To:** Deadwood Historic Preservation Commission  
**From:** Kevin Kuchenbecker, Historic Preservation Officer  
**Re:** Historic Preservation Program Applications

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The following Historic Preservation Program applications were received by this office. Staff's recommendation follows each of the program requests.

- Jodi Campbell ..... 21 Burnham.....Siding Program  
*Staff has determined the project meets the criteria for the Siding Program and will coordinate with the applicant and contractor during the proposed project.*
- Jodi Campbell ..... 21 Burnham..... Windows/Doors Program  
*Staff has determined the project meets the criteria for the Wood Windows and Doors Program and will coordinate with the applicant and contractor during the proposed project.*
- Terry & Barb Hansen ..... 23 Burnham .....Windows/Doors Program  
*Staff has determined the project meets the criteria for the Wood Windows and Doors Program and will coordinate with the applicant during the proposed project.*
- Terry & Barb Hansen ..... 23 Burnham .....Elderly Resident Program  
*Staff has determined the applicant as well as the project of upgrading the electrical panel from fuses to breakers meets the criteria for the Elderly Resident Program.*
- Robert & Mary Sjomeling ..... 416 Williams .....Elderly Resident Program  
*Staff has determined the applicant as well as the project of lifting the front porch meets the criteria for the Elderly Resident Program and will continue to work with the applicant during the proposed project.*
- Robert & Mary Sjomeling ..... 416 Williams .....Windows/Doors Program  
*Staff has determined the project meets the criteria for the Wood Windows and Doors Program and has received a quote for nine (9) storm windows..*



## Siding Program Application

Please read the attached Policy Guidelines and provide the requested information.

1. Address of Property:

21 Burnham Ave

2. Applicant's name & mailing address:

Jodi Campbell  
21 Burnham Ave  
Deadwood

Telephone: (605) 641-4669

E-mail Jodi Car jodimackey@hvc.com

3. Applying for:  Grant or  Loan

Requested Grant or Loan Amount:

\$ \_\_\_\_\_

Estimated Total Cost for Entire Project:

\$ will get estimate

**For Office Use Only:**

Owner Occupied

Non-owner Occupied

Verified through the Lawrence County Office of Equalization

Date: 6/10/16

Initials: JM

Assessed Valuation \$ 96,130

4. Complete a City of Deadwood Application for Project Approval OR Certificate of Appropriateness and attach it to this document.

5. Certification

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan as true and complete to the best of my knowledge and belief. I acknowledge I have read the policy guidelines for the loan or grant included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely granting or loaning funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant or loan approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance or a grant or loan.

Applicant's signature: Jodi Campbell

Date submitted: 06/04/16

Owner's signature: \_\_\_\_\_

Date submitted: \_\_\_/\_\_\_/\_\_\_

Please return the completed application along with the Project Approval OR Certificate of Appropriateness to:

City of Deadwood  
Planning, Zoning & Historic Preservation  
108 Sherman Street  
Deadwood, SD 57732  
605-578-2082





# Wood Windows and Doors Application

Please read the attached Policy Guidelines, Administrative Procedures and provide the requested information.

1. Address of Property:

21 Burnham Ave

2. Applicant/Owner name & mailing address:

Jodi Campbell  
21 Burnham Ave  
Deadwood

Telephone: (605) 641-4669

E-mail jodimackey@live.com

3. Applying for:  Grant or  Loan

Requested Grant or Loan Amount:

\$ \_\_\_\_\_

Estimated Total Cost for Entire Project:

\$ will get estimate

**For Office Use Only:**

Owner Occupied

Non-owner Occupied

Verified through the Lawrence County Office of Equalization

Date: 6/10/16 Initials: JMC

Assessed Valuation \$ 96,130

4. Complete a City of Deadwood Application for Project Approval OR Certificate of Appropriateness and attach it to this document.

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan as true and complete to the best of my knowledge and belief. I acknowledge I have read the policy guidelines for the loan or grant included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely granting or loaning funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant or loan approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance or a grant or loan.

Applicant's signature: Jodi Campbell

Date submitted: 06/10/16

Owner's signature: \_\_\_\_\_

Date submitted: \_\_\_/\_\_\_/\_\_\_

Please complete Wood Window and Doors Worksheet on page 2 of this application

# Wood Windows and Doors Worksheet

Please fill out below using numbers of windows, storm windows and doors.

Elevations	Repair or Replacement of Existing Window(s)	Installation of New Wood Storm and Screen Window(s)	Replacement of Inappropriate Window(s)	Repair or Replacement of Existing Primary Door	Repair or Replacement of Other Exterior Wood Door(s)	Replacement of Inappropriate Existing Wood Door(s)
Front View			4			1
Right Side View			4			
Left Side View			6			
Rear View						1
Total Windows			14			
	Existing wood window(s) qualified for restoration are eligible for a forgivable loan or grant up to \$800 per window.	Window(s) qualified for the purchase and installation of approved wooden storm and screen windows <b>OR</b> qualified for restoration are eligible for a forgivable loan or grant up to \$350 per window.	Window(s) qualified for the purchase and installation of new wood windows are eligible for a forgivable loan or grant up to \$800 per window if existing window is beyond repair.	Primary wood entry door qualified for restoration is eligible for a forgivable loan or grant of \$400 <b>OR</b> for the removal of inappropriate primary door and installing an appropriate qualified door is eligible for a forgivable loan or grant of \$600.	Other exterior door(s) qualified for restoration are eligible for a forgivable loan or grant of \$200 per door <b>OR</b> for the removal of inappropriate door(s) and installing an appropriate qualified door(s) are eligible for a forgivable loan or grant of \$300 per door.	Primary door and additional exterior door(s) qualified for the purchase and installation of new wood door(s) are eligible for a forgivable loan or grant of \$100 per door if existing door is beyond repair.

**The forgivable loan or grant is available up to \$20,000.00 maximum.**

Please return the completed application along with the Project Approval OR Certificate of Appropriateness to:

City of Deadwood  
 Planning, Zoning & Historic Preservation  
 108 Sherman Street  
 Deadwood, SD 57732  
 605-578-2082



# Wood Windows and Doors Application

Please read the attached Policy Guidelines, Administrative Procedures and provide the requested information.

1. Address of Property:

23 BURNHAM

2. Applicant/Owner name & mailing address:

TERRY OR BARR HANSEN

23 BURNHAM

DEADWOOD, S.D. 57782

Telephone: (605) 574-3765

E-mail \_\_\_\_\_

3. Applying for:  Grant or  Loan

Requested Grant or Loan Amount:

\$ \_\_\_\_\_

Estimated Total Cost for Entire Project:

\$ \_\_\_\_\_

For Office Use Only:	
<input checked="" type="checkbox"/>	Owner Occupied
<input type="checkbox"/>	Non-owner Occupied
Verified through the Lawrence County Office of Equalization	
Date: <u>6/10/16</u>	Initials: <u>gh</u>
Assessed Valuation \$ <u>77,160</u>	

4. Complete a City of Deadwood Application for Project Approval OR Certificate of Appropriateness and attach it to this document.

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan as true and complete to the best of my knowledge and belief. I acknowledge I have read the policy guidelines for the loan or grant included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely granting or loaning funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant or loan approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance or a grant or loan.

Applicant's signature: Terry Hansen

Date submitted: 6/8/16

Owner's signature: Terry Hansen

Date submitted: 6/8/16

Please complete Wood Window and Doors Worksheet on page 2 of this application



# Elderly Residents Program Application

Please read the attached Policy Guidelines and provide the requested information.

1. Address of Property:

23 BURNHAM

2. Applicant/Owner name & mailing address:

TERRY OR BARB HANSEN

23 BURNHAM

DEADWOOD, S.D 57732

Telephone: (605) 578-3765

E-mail \_\_\_\_\_

3. Applying for:  Grant or  Loan

Requested Grant or Loan Amount:

\$ \_\_\_\_\_

Estimated Total Cost for Entire Project:

\$ \_\_\_\_\_

**For Office Use Only:**

Owner Occupied

Non-owner Occupied

Verified through the Lawrence County Office of Equalization

Date: 6/10/16

Initials: gh

Assessed Valuation \$ 77,160

4. Complete a City of Deadwood Application for Project Approval OR Certificate of Appropriateness and attach it to this document.

5. Certification

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan as true and complete to the best of my knowledge and belief. I acknowledge I have read the policy guidelines for the loan or grant included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

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Applicant's signature: Terry Hansen

Date submitted: 6/8/16

Owner's signature: Terry Hansen

Date submitted: 6/8/16

Please return the completed application along with the Project Approval OR Certificate of Appropriateness to:

City of Deadwood  
Planning, Zoning & Historic Preservation  
108 Sherman Street  
Deadwood, SD 57732  
605-578-2082

For Consideration 06/10/15



# Elderly Residents Program Application

Please read the attached Policy Guidelines and provide the requested information.

1. Address of Property:

416 Williams St.

2. Applicant/Owner name & mailing address:

Robert & Mary Spamel  
416 W. Williams St.  
Deadwood SD 57732

Telephone: (605) 732-2846

E-mail \_\_\_\_\_

3. Applying for:  Grant or  Loan

Requested Grant or Loan Amount:

\$ \_\_\_\_\_

Estimated Total Cost for Entire Project:

\$ \_\_\_\_\_

**For Office Use Only:**

Owner Occupied

Non-owner Occupied

Verified through the Lawrence County Office of Equalization

Date: 6/10/16

Initials: gh

Assessed Valuation \$ 103,180

4. Complete a City of Deadwood Application for Project Approval OR Certificate of Appropriateness and attach it to this document.

5. Certification

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan as true and complete to the best of my knowledge and belief. I acknowledge I have read the policy guidelines for the loan or grant included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

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Applicant's signature: Robert Spamel

Date submitted: 6/7/16

Owner's signature: Mary E Spamel

Date submitted:    /   /   

Please return the completed application along with the Project Approval OR Certificate of Appropriateness to:

City of Deadwood  
Planning, Zoning & Historic Preservation  
108 Sherman Street  
Deadwood, SD 57732  
605-578-2082

For Consideration 06/10/15



# Wood Windows and Doors Application

Please read the attached Policy Guidelines, Administrative Procedures and provide the requested information.

1. Address of Property:

414 Williams St Deadwood

2. Applicant/Owner name & mailing address:

Robert + Mary Sporneling  
414 Williams St  
Deadwood SD 57732

Telephone: (605) 780-2846

E-mail \_\_\_\_\_

3. Applying for:  Grant or  Loan

Requested Grant or Loan Amount:

\$ \_\_\_\_\_

Estimated Total Cost for Entire Project:

\$ \_\_\_\_\_

**For Office Use Only:**

Owner Occupied

Non-owner Occupied

Verified through the Lawrence County Office of Equalization

Date: 6/10/16 Initials: qu

Assessed Valuation \$ 103,180

4. Complete a City of Deadwood Application for Project Approval OR Certificate of Appropriateness and attach it to this document.

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan as true and complete to the best of my knowledge and belief. I acknowledge I have read the policy guidelines for the loan or grant included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely granting or loaning funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant or loan approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance or a grant or loan.

Applicant's signature: Robert Sporneling

Date submitted: 6/17/16

Owner's signature: Mary E Sporneling

Date submitted:    /   /   

Please complete Wood Window and Doors Worksheet on page 2 of this application

Twin City Hardware  
 399 Cliff Street  
 Deadwood, SD 57732  
 605-578-3782

Bill To:  
 Our Valued Customer

Date: 06/08/2016      Time: 03:02:59 PM - Transaction#: C133010  
 Associate: JERALD

Qty	Description ProductCode	Unit Note	Price	Tax	Extended
1.00	27 7/8 x38 comb window warrenbob1	EACH SKU# warrenbob1	\$210.23	T	\$210.23
4.00	32 x 72 comb window warrenbob2	EACH SKU# warrenbob2	\$297.08	T	\$1,188.32
3.00	29 x 63 comb window warrenbob3	EACH SKU# warrenbob3	\$265.32	T	\$795.96
1.00	55 1/2X33 SASH WARRENB0B4	EACH SKU# WARRENB0B4	\$194.32	T	\$194.32
Subtotal:					\$2,388.83
6.5% - State Tax:					\$155.28
TOTAL:					\$2,544.11

Notes:

Bob Sjomeling 722-2846 416 WILLIAMS ST.  
 this is a basic quote must have a exact measure

Thank You!  
 "Give us a call, We have it all"